

306.3.2 Maximum Depth. Knee clearance shall

extend 25 inches (635 mm) maximum under an

306.3.3 Minimum Required Depth. Where knee

shall be 11 inches (280 mm) deep minimum

at 9 inches (230 mm) above the finish floor

minimum at 27 inches (685 mm) above the

306.3.4 Clearance Reduction. Between 9 inches

(230 mm) and 27 inches (685 mm) above the

finish floor or ground, the knee clearance shall

be permitted to reduce at a rate of 1 inch

(25 mm) in depth for each 6 inches (150

or ground, and 8 inches (205 mm) deep

finish floor or ground.

mm) in height.

of a clear floor space, the knee clearance

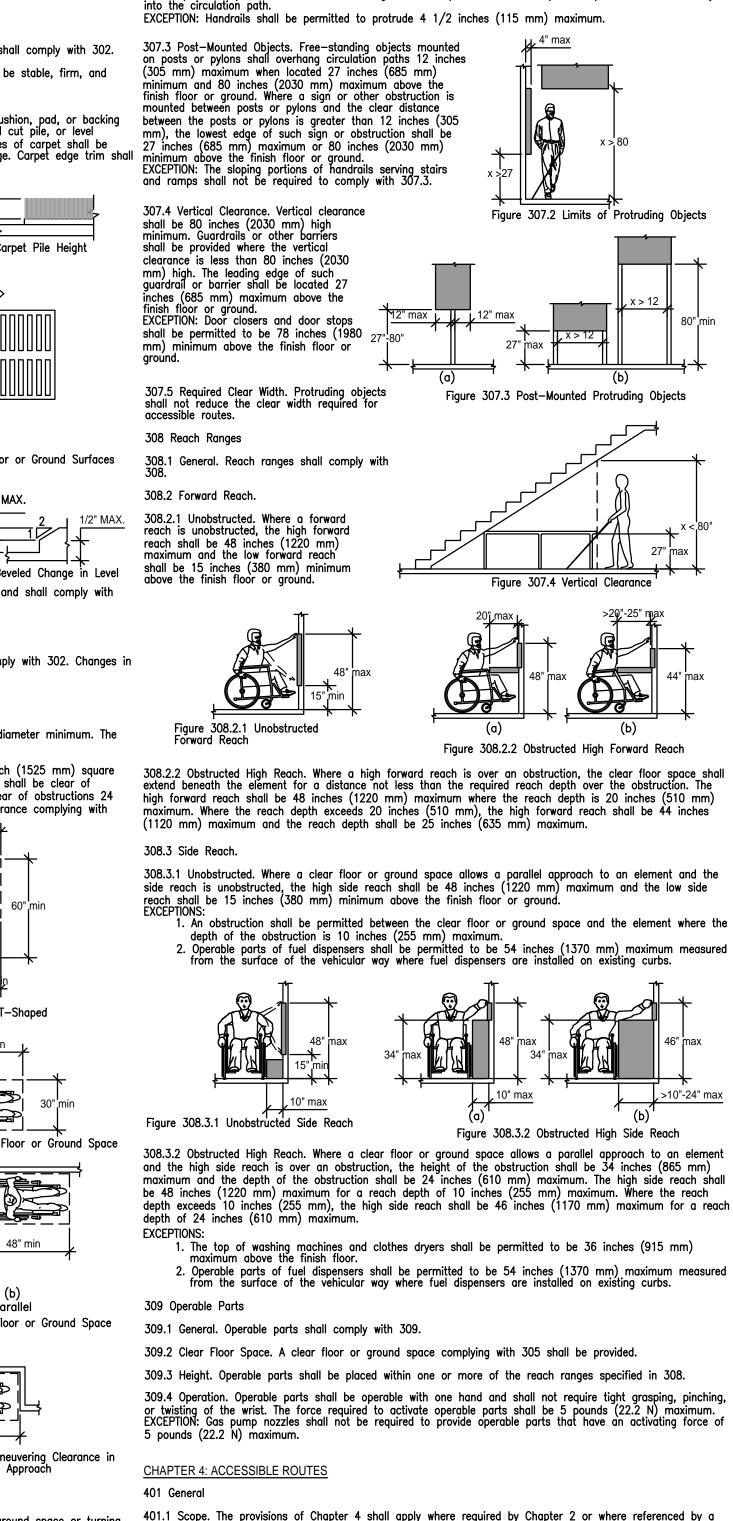
clearance is required under an element as part

Figure 306.2 Toe Clearance

Figure 306.3 Knee Clearance

25" max

element at 9 inches (230 mm) above the finish floor or ground.



401.1 Scope. The provisions of Chapter 4 shall apply where required by Chapter 2 or where referenced by a

15" mir

10" max

403.5.1 Clear Width. Except as provided in 403.5.2 and 403.5.3, the clear width of walking surfaces shall be 36

EXCEPTION: The clear width shall be permitted to be reduced to 32 inches (815 mm) minimum for a length of

24 inches (610 mm) maximum provided that reduced width segments are separated by segments that are 48

403.5.3 Passing Spaces. An accessible route with a clear width less than 60 inches (1525 mm) shall provide

passing spaces at intervals of 200 feet (61 m) maximum. Passing spaces shall be either: a space 60 inches

(1525 mm) minimum by 60 inches (1525 mm) minimum; or, an intersection of two walking surfaces providing T-shaped space complying with 304.3.2 where the base and arms of the T-shaped space extend 48 inches

Figure 403.5.1 Clear Width of an Accessible Route

inches (1220 mm) long minimum and 36 inches (915 mm) wide minimum.

403.5.2 Clear Width at Turn. Where the accessible

width shall be 42 inches (1065 mm) minimum

ninimum at the turn and 42 inches (1065 mm)

minimum leaving the turn. EXCEPTION: Where the clear width at the turn is 60

nches (1525 mm) minimum compliance with 403.5.2

approaching the turn, 48 inches (1220 mm)

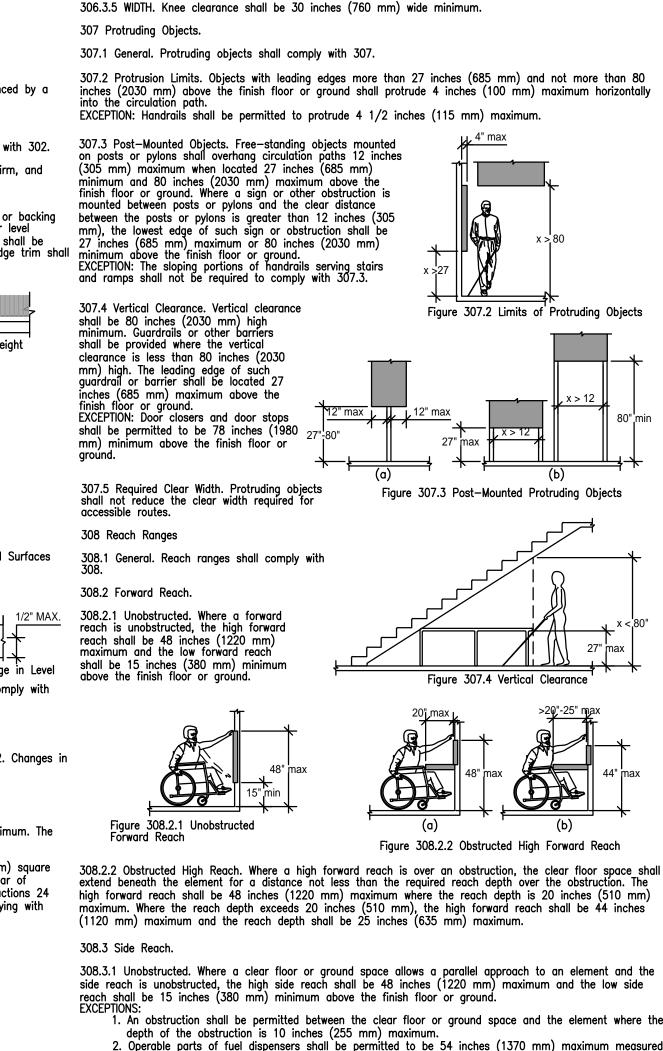
(1220 mm) minimum beyond the intersection.

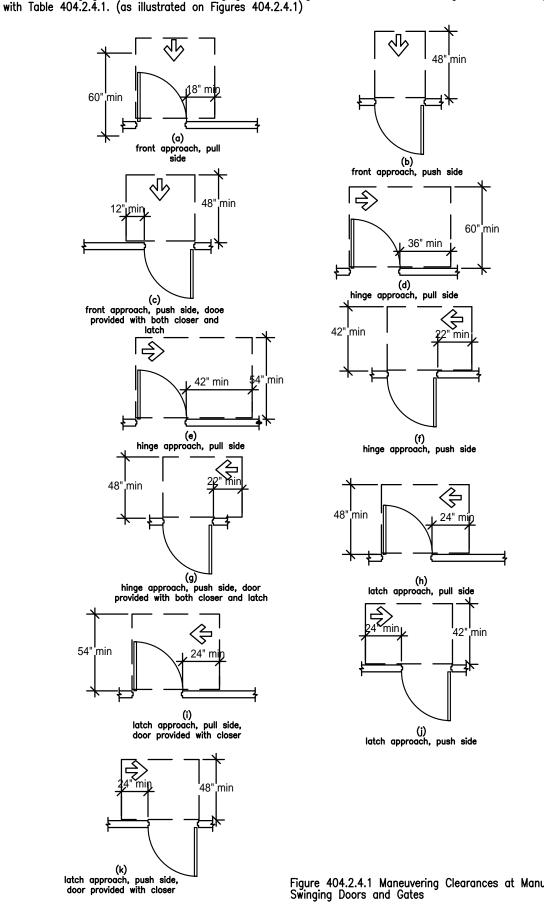
route makes a 180 degree turn around an element

which is less than 48 inches (1220 mm) wide, clear

Figure 308.3.2 Obstructed High Side Reach

,>10"-24" max





403.6 Handrails. Where handrails

are provided along walking surfaces with running slopes not

404.1 General. Doors, doorways,

and gates that are part of an

accessible route shall comply with 404. EXCEPTION: Doors,

doorways, and gates designed

to be operated only by security

personnel shall not be required

to comply with 404.2.7, 404.2.8, 404.2.9, 404.3.2 and

user passage shall comply with 404.2.

comply with 404.2.3 and 404.2.4.

permitted for the latch side stop.

404.2.4 Maneuvering Clearances. Minimum

finish floor or ground.

maneuvering clearances at doors and

Maneuvering clearances shall extend the

patient rooms shall not be required to

provide the clearance beyond the latch

gates shall comply with 404.2.4.

full width of the doorway and the required latch side or hinge side

EXCEPTION: Entry doors to hospital

404.3.4 through 404.3.7.

404 Doors, Doorways, and

steeper than 1:2

comply with 505.

7 they shall

, 42" min

180 degree turn

404.2 Manual Doors, Doorways, and Manual Gates. Manual doors and doorways and manual gates intended for

404.2.1 Revolving Doors, Gates, and Turnstiles. Revolving doors, revolving gates, and turnstiles shall not be part

404.2.2 Double-Leaf Doors and Gates. At least one of the active leaves of doorways with two leaves shall

404.2.3 Clear Width. Door openings shall provide a clear width of 32 inches (815 mm) minimum. Clear openings of doorways with swinging doors shall be measured between the face of the door and the stop, with

the door open 90 degrees. Openings more than 24 inches (610 mm) deep shall provide a clear opening of 36

inches (915 mm) minimum. There shall be no projections into the required clear opening width lower than 34

inches (865 mm) above the finish floor or ground. Projections into the clear opening width between 34 inches

(865 mm) and 80 inches (2030 mm) above the finish floor or ground shall not exceed 4 inches (100 mm).

1. In alterations, a projection of 5/8 inch (16 mm) maximum into the required clear width shall be

2. Door closers and door stops shall be permitted to be 78 inches (1980 mm) minimum above the

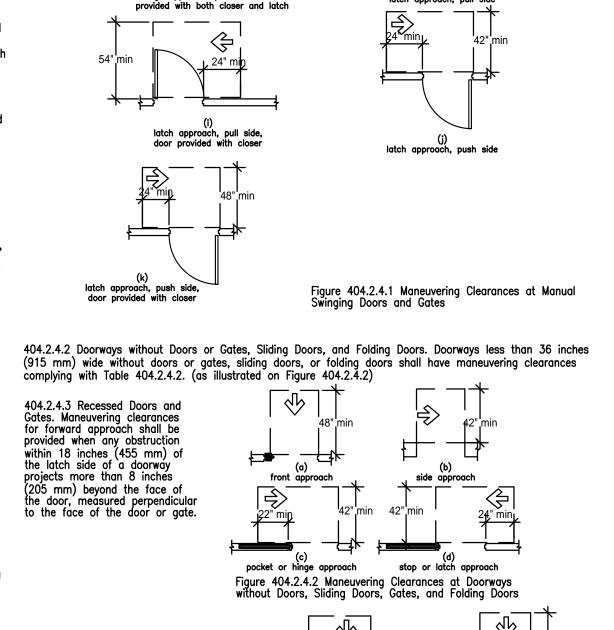
404.2.4.1 Swinging Doors and Gates. Swinging doors and gates shall have maneuvering clearances complying

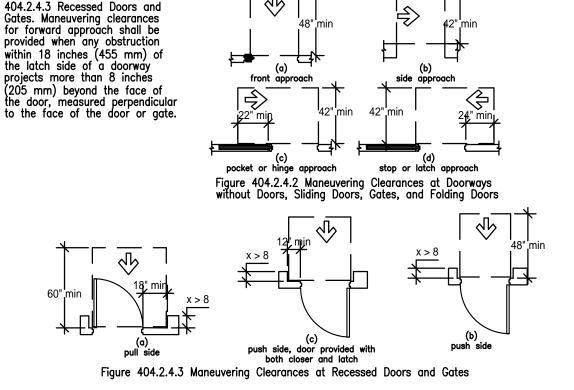
Figure 404.2.3 Clear Width of Doorways

x < 48" min

Figure 403.5.2 Clear Width at Turn

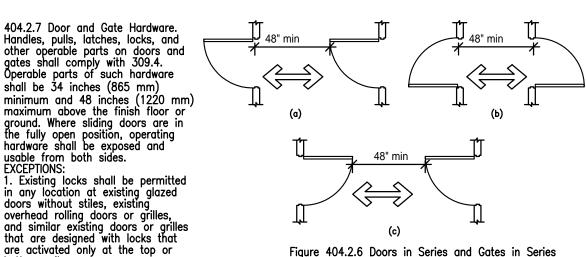
180 degree turn





404.2.4.4 Floor or Ground Surface. Floor or ground surface within required maneuvering clearances shall comply with 302. Changes in level are not permitted. EXCEPTIONS: Slopes not steeper than 1:48 shall be permitted. Changes in level at thresholds complying with 404.2.5 shall be permitted.

404.2.5 Thresholds. Thresholds, if provided at doorways, shall be 1/2 inch (13 mm) high maximum. Raised thresholds and changes in level at doorways shall comply with 302 and 303. EXCEPTION: Existing or altered thresholds 3/4 inch (19 mm) high maximum that have a beveled edge on each side with a slope not steeper than 1:2 shall not be required to comply with 404.2.5. 404.2.6 Doors in Series and Gates in Series. The distance between two hinged or pivoted doors in series and gates in series shall be 48 inches (1220 mm) minimum plus the width of doors or gates swinging into the



2. Access gates in barrier walls and fences protecting pools, spas, and hot tubs shall be permitted to have operable parts of the release of latch on self-latching devices at 54 inches (1370 mm) maximum above the inish floor or ground provided the self-latching devices are not also self-locking devices and operated by means of a key, electronic opener, or integral combination lock.

404.2.8 Closing Speed. Door and gate closing speed shall comply with 404.2.8. 404.2.8.1 Door Closers and Gate Closers. Door closers and gate closers shall be adjusted so that from an open position of 90 degrees, the time required to move the door to a position of 12 degrees from the latch 404.2.8.2 Spring Hinges. Door and gate spring hinges shall be adjusted so that from the open position of 70 degrees, the door or gate shall move to the closed position in 1.5 seconds minimum.

404.2.9 Door and Gate Opening Force. Fire doors shall have a minimum opening force allowable by the appropriate administrative authority. The force for pushing or pulling open a door or gate other than fire doors Interior hinged doors and gates: 5 pounds (22.2 N) maximum.
 Sliding or folding doors: 5 pounds (22.2 N) maximum.
 These forces do not apply to the force required to retract latch bolts or disengage other devices that hold the

404.2.10 Door and Gate Surfaces. Swinging door and gate surfaces within 10 inches (255 mm) of the finish floor or ground measured vertically shall have a smooth surface on the push side extending the full width of the door or gate. Parts creating horizontal or vertical joints in these surfaces shall be within 1/16 inch (1.6 mm) of the same plane as the other. Cavities created by added kick plates shall be capped. EXCEPTIONS:

. Sliding doors shall not be required to comply with 404.2.10. 2. Tempered glass doors without stiles and having a bottom rail or shoe with the top leading edge tapered at 60 degrees minimum from the horizontal shall not be required to meet the 10 inch (255 mm) bottom smooth surface height requirement. 3. Doors and gates that do not extend to within 10 inches (255 mm) of the finish floor or ground sha not be required to comply with 404.2.10. 4. Existing doors and gates without smooth surfaces within 10 inches (255 mm) of the finish floor of

ground shall not be required to provide smooth surfaces complying with 404.2.10 provided that if added kick plates are installed, cavities created by such kick plates are capped 404.2.11 Vision Lights. Doors, gates, and side lights adjacent to doors or gates, containing one or more glazing panels that permit viewing through the panels shall have the bottom of at least one glazed panel located 43 inches (1090 mm) maximum above the finish floor. EXCEPTION: Vision lights with the lowest part more than 66 inches (1675 mm) from the finish floor or ground shall not be required to comply with 404.2.11.

404.3 Automatic and Power-Assisted Doors and Gates. Automatic doors and automatic gates shall comply with 404.3. Full-powered automatic doors shall comply with ANSI/BHMA A156.10 (incorporated by reference, see Referenced Standards" in Chapter 1). Low-energy and power-assisted doors shall comply with ANSI/BHMA A156.19 (1997 or 2002 edition) (incorporated by reference, see "Referenced Standards" in Chapter 1)

404.3.1 Clear Width. Doorways shall provide a clear opening of 32 inches (815 mm) minimum in power—on power—off mode. The minimum clear width for automatic door systems in a doorway shall be based on the clear opening provided by all leaves in the open position. 404.3.2 Maneuvering Clearance. Clearances at power-assisted doors and gates shall comply with 404.2.4. Clearances at automatic doors and gates without standby power and serving an accessible means of egress

shall comply with 404.2.4. EXCEPTION: Where automatic doors and gates remain open in the power-off condition, compliance with 404.2.4 shall not be required.

404.3.3 Thresholds. Thresholds and changes in level at doorways shall comply with 404.2.5. 404.3.4 Doors in Series and Gates in Series. Doors in series and gates in series shall comply with 404.2.6 404.3.5 Controls. Manually operated controls shall comply with 309. The clear floor space adjacent to the

404.3.6 Break Out Opening. Where doors and gates without standby power are a part of a means of egress, the clear break out opening at swinging or sliding doors and gates shall be 32 inches (815 mm) minimum when operated in emergency mode.

EXCEPTION: Where manual swinging doors and gates comply with 404.2 and serve the same means of egress compliance with 404.3.6 shall not be required.

404.3.7 Revolving Doors, Revolving Gates, and Turnstiles. Revolving doors, revolving gates, and turnstiles shall 405 Ramps

405.1 General. Ramps on accessible routes shall comply with 405. EXCEPTION: In assembly areas, aisle ramps adjacent to seating and not serving elements required to be on an accessible route shall not be required to comply with 405.

405.2 Slope. Ramp runs shall have a running slope not steeper than 1:12. EXCEPTION: In existing sites, buildings, and facilities, ramps shall be permitted to have running slopes steeper than 1:12 complying with Table 405.2 where such slopes are necessary due to space limitations.

Table 405.2 Maximum Ramp Slope and Rise for Existi	ng Sites, Buildings, and Facilities
Slope (A slope steeper than 1:8 is prohibited.)	Maximum Rise
Steeper than 1:10 but not steeper than 1:8	3 inches (75 mm)
Steeper than 1:12 but not steeper than 1:10	6 inches (150 mm)

405.3 Cross Slope. Cross slope of ramp runs shall not be steeper than 1:48.

405.4 Floor or Ground Surfaces. Floor or ground surfaces of ramp runs shall comply with 302. Changes in leve other than the running slope and cross slope are not permitted on ramp runs. 405.5 Clear Width. The clear width of a ramp run and, where handrails are provided, the clear width between handrails shall be 36 inches (915 mm) minimum. EXCEPTION: Within employee work areas, the required clear width of ramps that are a part of common use circulation paths shall be permitted to be decreased by work area equipment provided that the decrease is essential to the function of the work being performed.

405.6 Rise. The rise for any ramp run shall be 30 inches (760 mm) maximum. 405.7 Landings. Ramps shall have landings at the top and the bottom of each ramp run. Landings shall comply

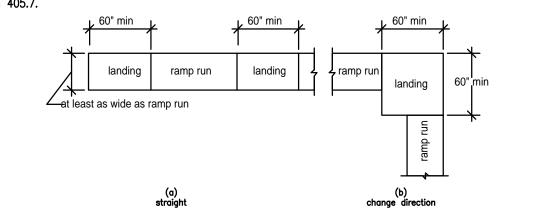


Figure 405.7 Ramp Landings 405.7.1 Slope. Landings shall comply with 302. Changes in level are not permitted. EXCEPTION: Slopes not steeper than 1:48 shall be permitted.

405.7.2 Width. The landing clear width shall be at least as wide as the widest ramp run leading to the landing 405.7.3 Length. The landing clear length shall be 60 inches (1525 mm) long minimum. 405.7.4 Change in Direction. Ramps that change directi

on between runs at landings shall have a clear landing 60 inches (1525 mm) minimum by 60 inches (1525 405.7.5 Doorways. Where doorways are located adjacent to a ramp landing, maneuvering clearances required by

404.2.4 and 404.3.2 shall be permitted to overlap the required landing area. 405.8 Handrails. Ramp runs with a rise greater than 6 inches (150 mm) shall have handrails complying with EXCEPTION: Within employee work areas, handrails shall not be required where ramps that are part of common use circulation paths are designed to permit the installation of handrails complying with 505. Ramps not subject to the exception to 405.5 shall be designed to maintain a 36 inch (915 mm) minimum clear width when

405.9 Edge Protection. Edge protection complying with 405.9.1 or 405.9.2 shall be provided on each side of 1. Edge protection shall not be required on ramps that are not required to have handrails and have

sides complying with 406.3.

2. Edge protection shall not be required on the sides of ramp landings serving an adjoining ramp run or 3. Edge protection shall not be required on the sides of ramp landings having a vertical drop-off of 1/2 level as the vehicle pull-up inch (13 mm) maximum within 10 inches (255 mm) horizontally of the minimum landing area specified space they serve. Changes in 405.7.

405.9.1 Extended Floor or Ground Surface. The floor or ground surface of the ramp run or landing shall extend than 1:48 shall be permitted. 12 inches (305 mm) minimum beyond the inside face of a handrail complying with 505.

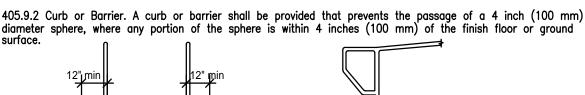
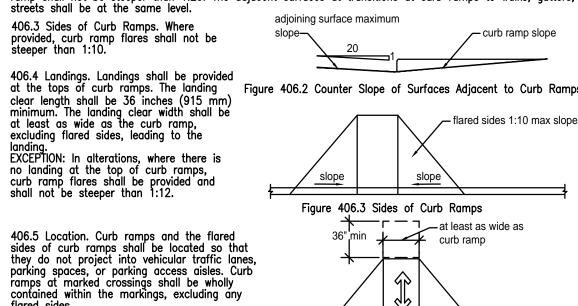


Figure 405.9.2 Curb or Barrier Edge Protection Figure 405.9.1 Extended Floor or Ground Surface Edge Protection

405.10 Wet Conditions. Landings subject to wet conditions shall be designed to prevent the accumulation of

406.1 General. Curb ramps on accessible routes shall comply with 406, 405.2 through 405.5, and 405.10. 406.2 Counter Slope. Counter slopes of adjoining gutters and road surfaces immediately adjacent to the curb ramp shall not be steeper than 1:20. The adjacent surfaces at transitions at curb ramps to walks, gutters, and



406.6 Diagonal Curb Ramps. Diagonal or corner type curb ramps with returned curbs or Figure 406.4 Landings at the Top of Curb Ramps other well—defined edges shall have the edges parallel to the direction of pedestrian flow. The bottom of diagonal curb ramps shall have a clear space 18 inches (1220 mm) minimum outside active traffic lanes of the roadway. Diagonal curb ramps provided at marked crossings shall provide the 48 inches (1220 mm) minimum clear space within the markings. Diagonal curb ramps with flared sides shall have a segment of curb 24 inches (610 mm) long minimum located on each side of the curb ramp and within the marked crossing.

cut through level with the street or have curb ramps at both sides. Each curb ramp shall have a level area 48 inches (1220 mm) long minimum by 36 nches (915 mm) wide minimum at the top of the curb ramp in the part of the island intersected by the crossings. Each 48 inch (1220 mm) minimum by 36 inch (915 mm) minimum area shall be oriented so that the 48 inch (1220 mm) minimum length is in the direction of the running slope of the curb ramp it serves. The 48 inch (1220 mm) minimum by 36 inch (915 mm) minimum areas and the accessible route shall be permitted to overlap

Figure 406.6 Diagonal or Corner Type Curb Ramps

132" min

🗨 area to b

Figure 502.2 Vehicle Parking Spaces

Figure 502.3 Parking Space Access Aisle

CHAPTER 5: GENERAL SITE AND BUILDING ELEMENTS 501 General

501.1 Scope. The provisions of Chapter 5 shall apply where required by Chapter 2 or where referenced by a requirement in this document.

502 Parking Spaces

502.1 General. Car and van parking spaces shall comply with 502. Where parking spaces are marked with lines, width measurements of parking spaces and access aisles shall be made from the centerline of the EXCEPTION: Where parking spaces or access aisles are not adjacent to another parking space or access aisle, measurements shall be permitted to include the full width of the line defining the parking space or

502.2 Vehicle Spaces. Car parking spaces shall be 96 inches (2440 mm) wide minimum and van parking spaces shall be 132 inches (3350 mm) wide minimum, shall be marked to define the width, and shall have an adjacent access aisle complying with 502.3. EXCEPTION: Van parking spaces shall be permitted to be 96 inches (2440 mm) wide minimum where the

access aisle is 96 inches (2440 mm) wide minimum. 502.3 Access Aisle. Access aisles serving parking spaces shall comply with 502.3. Access aisles shall adjoin an

accessible route. Two parking spaces shall be permitted to share a common access aisle.

502.3.1 Width. Access aisles serving car and van parking spaces shall be 60 inches (1525 mm) wide minimum. 502.3.2 Length. Access aisles shall extend the full length of the parking spaces they serve.

502.3.3 Marking. Access aisles shall be marked so as to discourage parking in them.

502.3.4 Location. Access aisles shall not overlap the vehicular way. Access aisles shall be permitted to be placed on either side of the parking space except for angled van parking spaces which shall have access aisles located on the passenger side of the parking spaces.

502.4 Floor or Ground Surfaces. Parking spaces and access aisles serving them shall comply with 302. Access aisles shall be at the same level as the parking spaces they serve. Changes in level are not permitted.

EXCEPTION: Slopes not steeper than 1:48 shall be permitted. 502.5 Vertical Clearance. Parking spaces for vans and access aisles and vehicular routes serving them shall provide a vertical clearance of 98 inches (2490 mm) minimum.

502.6 Identification. Parking space identification signs shall include the International Symbol of Accessibility complying with 703.7.2.1. Signs identifying van parking spaces shall contain the designation "van accessible." Signs shall be 60 inches (1525 mm) minimum above the finish floor or ground surface

measured to the bottom of the sign.

502.7 Relationship to Accessible Routes. Parking spaces and access aisles shall be designed so that cars and vans, when parked, cannot obstruct the required clear width of adjacent accessible routes. 503 Passenger Loading Zones

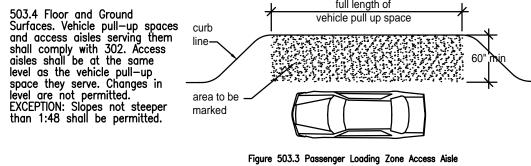
503.1 General. Passenger loading zones shall comply with 503.

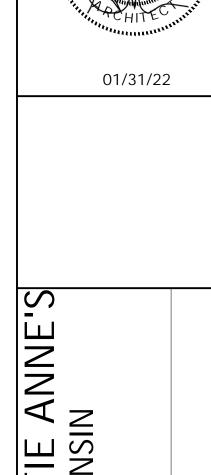
503.2 Vehicle Pull—Up Space. Passenger loading zones shall provide a vehicular pull—up space 96 inches (2440 mm) wide minimum and 20 feet (6100 mm) long minimum.

503.3 Access Aisle. Passenger loading zones shall provide access aisles complying with 503 adjacent to the vehicle pull—up space. Access aisles shall adjoin an accessible route and shall not overlap the vehicular way.

503.3.1 Width. Access aisles serving vehicle pull-up spaces shall be 60 inches (1525 mm) wide minimum. 503.3.2 Length. Access aisles shall extend the full length of the vehicle pull-up spaces they serve.

503.3.3 Marking. Access aisles shall be marked so as to discourage parking in them. full length of vehicle pull up space Surfaces. Vehicle pull-up spaces curb and access aisles serving them





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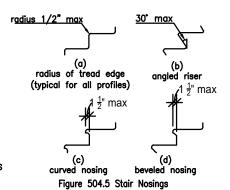
### 504 Stairways 504.1 General. Stairs shall comply with 504.

504.2 Treads and Risers. All steps on a flight of stairs shall have uniform riser heights and uniform tread depths. Risers shall be 4 inches (100 mm) high minimum and 7 inches (180 mm) high maximum. Treads shall be 11 inches (280 mm) deep minimum.

#### 504.3 Open Risers. Open risers are not permitted.

504.4 Tread Surface. Stair treads shall comply with 302. Changes in level are not permitted. EXCEPTION: Treads shall be permitted to have a slope not

504.5 Nosings. The radius of curvature at the leading edge of the tread shall be 1/2 inch (13 mm) maximum. Nosings that project beyond risers shall have the underside of the leading edge curved or beveled. Risers shall be permitted to slope under the tread at an angle of 30 degrees maximum from vertical. The permitted projection of the nosing shall extend 1 1/2 inches (38 mm) maximum over the tread below.



504.6 Handrails. Stairs shall have handrails complying with 505.

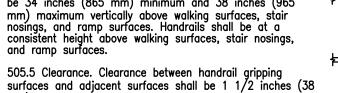
504.7 Wet Conditions. Stair treads and landings subject to wet conditions shall be designed to prevent the

505.1 General. Handrails provided along walking surfaces complying with 403, required at ramps complying with 405, and required at stairs complying with 504 shall comply with 505.

505.2 Where Required. Handrails shall be provided on both sides of stairs and ramps. EXCEPTION: In assembly areas, handrails shall not be required on both sides of aisle ramps where a handrail provided at either side or within the aisle width

505.3 Continuity. Handrails shall be continuous within the full length of each stair flight or ramp run. Inside handrails on switchback or dogleg stairs and ramps shall be continuous between flights or runs. EXCEPTION: In assembly areas, handrails on ramps shall not be required to be continuous in aisles serving

505.4 Height. Top of gripping surfaces of handrails shall be 34 inches (865 mm) minimum and 38 inches (965 mm) maximum vertically above walking surfaces, stair nosings, and ramp surfaces. Handrails shall be at a consistent height above walking surfaces, stair nosings, and ramp surfaces.



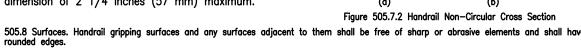
505.6 Gripping Surface. Handrail gripping surfaces shall be continuous along their length and shall not be obstructed along their tops or sides. The bottoms of handrail gripping surfaces shall not be obstructed for more than 20 percent of their length. Where provided, horizontal projections shall occur 1 1/2 inches (38 mm) minimum below the bottom of the handrail gripping

surface. EXCEPTIONS: 1. Where handrails are provided along walking surfaces with slopes not steeper than 1:20, the bottoms of handrail gripping surfaces shall be permitted to be obstructed along their entire length where they are integral to crash rails or bumper guards.

2. The distance between horizontal projections and the bottom of the Figure 505.6 Horizontal Projections Below gripping surface shall be permitted to be reduced by 1/8 inch (3.2 mm) for each 1/2 inch (13 mm) of additional handrail perimeter dimension that

505.7 Cross Section. Handrail gripping surfaces shall have a cross section complying with 505.7.1 or 505.7.2. 505.7.1 Circular Cross Section. Handrail gripping surfaces with a circular cross section shall have an outside diameter of 1 1/4 inches (32 mm) minimum and 2 inches (51 mm)

505.7.2 Non-Circular Cross Sections. Handrail gripping surfaces with a non-circular cross section shall have a perimeter dimension of 4 inches (100 mm) minimum and 6 1/4 inches (160 mm) maximum, and a cross-section dimension of 2 1/4 inches (57 mm) maximum.



2 1/4" max

Figure 505.4 Handrail Height

505.9 Fittings. Handrails shall not rotate within their fittings. 505.10 Handrail Extensions. Handrail gripping surfaces shall extend beyond and in the same direction of stair flights and ramp runs in accordance with 505.10.

EXCEPTIONS:

1. Extensions shall not be required for continuous handrails at the inside turn of switchback or dogleg stairs and ramps. discontinuous to provide access to seating and to permit crossovers within aisles. 3. In alterations, full extensions of handrails shall not be required where such extensions would be hazardous due to plan

505.10.1 Top and Bottom Extension at Ramps. Ramp handrails shall extend horizontally above the landing for 12 inches (305 mm) minimum beyond the top and bottom of ramp runs. Extensions shall return to a wall, guard, or the landing surface, or shall be continuous to the handrail of an adjacent ramp run.

505.10.2 Top Extension at Stairs. At the top of a stair flight, handrails shall extend horizontally above the landing for 12 inches (305 mm) minimum beginning directly above the first riser nosing. Extensions shall return to a wall, guard, or the landing surface, or shall be continuous to the handrail of an adjacent stair flight 505.10.3 Bottom Extension at Stairs. At the bottom of a stair flight, handrails shall extend at the slope of the stair Figure 505.10.1 Top and Bottom Handrail Extension at Ramps flight for a horizontal distance at least equal to one tread depth beyond the last riser nosing. Extension shall return to a wall, guard, or the landing surface, or shall be continuous to the handrail of an adjacent stair flight.

CHAPTER 6: PLUMBING ELEMENTS & FACILITIES 601 General 601.1 Scope. The provisions of Chapter 6 shall apply where required by Chapter 2 or where Extension at Stairs referenced by a requirement in this document.

602 Drinking Fountains

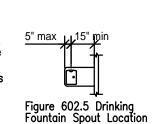
602.1 General. Drinking fountains shall comply with 307 and 602.

602.2 Clear Floor Space. Units shall have a clear floor or ground space complying with 305 positioned for a forward approach and centered on the unit. Knee and toe clearance complying with 306 shall be provided. EXCEPTION: A parallel approach complying with 305 shall be permitted at units for children's use where the spout is 30 inches (760 mm) maximum above the finish floor or ground and is 3 1/2 inches (90 mm) maximum from the front edge of the unit, including bumpers.

602.3 Operable Parts. Operable parts shall comply with 309.

602.4 Spout Height. Spout outlets shall be 36 inches (915 mm) maximum above the finish floor or ground. 602.5 Spout Location. The spout shall be located 15 inches (380 mm) minimum from the vertical support and 5

inches (125 mm) maximum from the front edge of the unit, including bumpers. 602.6 Water Flow. The spout shall provide a flow of water 4 inches (100 mm) high minimum and shall be located 5 inches (125 mm) maximum from the front of the unit. The angle of the water stream shall be measured horizontally relative to the front face of the unit. Where spouts are located less than 3 inches (75 mm) of the front of the unit, the angle of the water stream shall be 30 degrees maximum. Where spouts are located between 3 inches (75 mm) and 5 inches (125 mm) maximum from the front of the unit, the angle of the water stream shall be 15 degrees maximum



Note: x=tread depth

Figure 505.10.3 Bottom Handrail Extension at Stairs

602.7 Drinking Fountains for Standing Persons. Spout outlets of drinking fountains for standing persons shall t 38 inches (965 mm) minimum and 43 inches (1090 mm) maximum above the finish floor or ground. 603 Toilet and Bathing Rooms

- 603.1 General. Toilet and bathing rooms shall comply with 603.
- 603.2 Clearances. Clearances shall comply with 603.2.
- 603.2.1 Turning Space. Turning space complying with 304 shall be provided within the room.
- 603.2.2 Overlap. Required clear floor spaces, clearance at fixtures, and turning space shall be permitted to

603.2.3 Door Swing. Doors shall not swing into the clear floor space or clearance required for any fixture. Doors shall be permitted to swing into the required turning space. EXCEPTIONS:

1. Doors to a toilet room or bathing room for a single occupant accessed only through a private office and not for common use or public use shall be permitted to swing into the clear floor space or clearance provided the swing of the door can be reversed to comply with 603.2.3. 2. Where the toilet room or bathing room is for individual use and a clear floor space complying with 305.3 is provided within the room beyond the arc of the door swing, doors shall be permitted to swing into the clear floor space or clearance required for any fixture.

603.3 Mirrors. Mirrors located above lavatories or countertops shall be installed with the bottom edge of the reflecting surface 40 inches (1015 mm) maximum above the finish floor or ground. Mirrors not located above lavatories or countertops shall be installed with the bottom edge of the reflecting surface 35 inches (890 mm) maximum above the finish floor or ground.

603.4 Coat Hooks and Shelves. Coat hooks shall be located within one of the reach ranges specified in 308. Shelves shall be located 40 inches (1015 mm) minimum and 48 inches (1220 mm) maximum above the finish

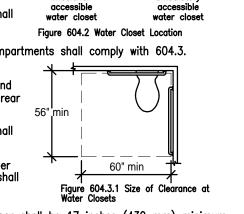
604 Water Closets and Toilet Compartments

604.1 General. Water closets and toilet compartments shall comply with 604.2 through 604.8. EXCEPTION: Water closets and toilet compartments for children's use

604.2 Location. The water closet shall be positioned with a wall or partition to the rear and to one side. The centerline of the water closet shall be 16 inches (405 mm) minimum to 18 inches (455 mm) maximum from the side wall or partition, except that the water closet shall be 17 inches (430 mm) minimum and 19 inches (485 mm) maximum from the side wall or partition in the ambulatory accessible toilet compartment specified in 604.8.2. Water closets shall be arranged for a left-hand or right-hand approach.

604.3 Clearance. Clearances around water closets and in toilet compartments shall comply with 604.3 (1525 mm) minimum measured perpendicular from the side wall and 56 inches (1420 mm) minimum measured perpendicular from the rear

604.3.2 Overlap. The required clearance around the water closet shall be permitted to overlap the water closet, associated grab bars, dispensers, sanitary napkin disposal units, coat hooks, shelves, accessible routes, clear floor space and clearances required at other fixtures, and the turning space. No other fixtures or obstructions shall



604.4 Seats. The seat height of a water closet above the finish floor shall be 17 inches (430 mm) minimum and 19 inches (485 mm) maximum measured to the top of the seat. Seats shall not be sprung to return to

1. A water closet in a toilet room for a single occupant accessed only through a private office and no for common use or public use shall not be required to comply with 604.4.

604.5 Grab Bars. Grab bars for water closets shall comply with 609. Grab bars shall be provided on the side wall closest to the water closet and on the rear wall. 1. Grab bars shall not be required to be installed in a toilet room for a single occupant accessed only through a private office and not for common use or public use provided that reinforcement has been installed in walls and located so as to permit the installation of grab bars complying with 604.5.

3. In detention or correction facilities, grab bars shall not be required to be installed in housing or holding cells that are specially designed without protrusions for purposes of suicide prevention.

604.5.1 Side Wall. The side wall grab bar shall be 42 inches (1065 mm) long minimum, located 12 inches (3 mm) maximum from the rear wall and extending 54 inches (1370 mm) minimum from the rear wall.

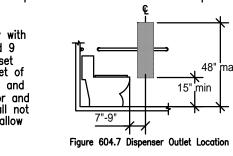
604.5.2 Rear Wall. The rear wall grab bar shall be 36 inches (915 mm) long minimum and extend from the centerline of the water closet 12 inches (305 mm) minimum on one side and 24 inches 610 mm) minimum on the other side. EXCEPTIONS: . The rear grab bar shall be permitted to be 24 inches (610 mm) long where wall space does not permit a ength of 36 inches (915 mm) minimum

42" min Figure 604.5.1 Side Wall Grab Figure 604.5.2 Rear Wall Grab Bar at Water Closets

due to the location of a recessed fixture adiacent to the water closet. 2. Where an administrative authority requires flush controls for flush valves to be located in a position that conflicts with the location of the rear grab bar, then the rear grab bar shall be permitted to be split or shifted

604.6 Flush Controls. Flush controls shall be hand operated or automatic. Hand operated flush controls shall comply with 309. Flush controls shall be located on the open side of the water closet except in ambulatory accessible compartments complying with 604.8.2.

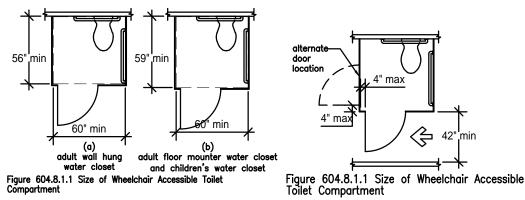
604.7 Dispensers. Toilet paper dispensers shall comply with 309.4 and shall be 7 inches (180 mm) minimum and 9 inches (230 mm) maximum in front of the water closet measured to the centerline of the dispenser. The outlet of the dispenser shall be 15 inches (380 mm) minimum and 48 inches (1220 mm) maximum above the finish floor and shall not be located behind grab bars. Dispensers shall not be of a type that controls delivery or that does not allow



604.8 Toilet Compartments. Wheelchair accessible toilet compartments shall meet the requirements of 604.8.1 and 604.8.3. Compartments containing more than one plumbing fixture shall comply with 603. Ambulatory accessible compartments shall comply with 604.8.2 and 604.8.3.

perpendicular to the side wall, and 56 inches (1420 mm) deep minimum for wall hung water closets and 59 nches (1500 mm) deep minimum for floor mounted water closets measured perpendicular to the rear wall. Wheelchair accessible compartments for children's use shall be 60 inches (1525 mm) wide minimum measured perpendicular to the side wall, and 59 inches (1500 mm) deep minimum for wall hung and floor mounted water closets measured perpendicular to the rear wall.

604.8.1 Wheelchair Accessible Compartments. Wheelchair accessible compartments shall comply with 604.8.1.



604.8.1.2 Doors. Toilet compartment doors, including door hardware, shall comply with 404 except that if the approach is to the latch side of the compartment door, clearance between the door side of the compartment and any obstruction shall be 42 inches (1065 mm) minimum. Doors shall be located in the front partition or i the side wall or partition farthest from the water closet. Where located in the front partition, the door opening shall be 4 inches (100 mm) maximum from the side wall or partition farthest from the water closet. Where located in the side wall or partition, the door opening shall be 4 inches (100 mm) maximum from the front partition. The door shall be self-closing. A door pull complying with 404.2.7 shall be placed on both sides of the door near the latch. Toilet compartment doors shall not swing into the minimum required compartment

604.8.1.3 Approach. Compartments shall be arranged for left-hand or right-hand approach to the water closet. 604.8.1.4 Toe Clearance. The front partition and at least one side partition shall provide a toe clearance of 9 inches (230 mm) minimum above the finish floor and 6 inches (150 mm) deep minimum beyond the compartment—side face of the partition, exclusive of partition support members. Compartments for children's use shall provide a toe clearance of 12 inches (305 mm) minimum above the finish floor. EXCEPTION: Toe clearance at the front partition is not required in a compartment greater than 62 inches (1575 mm) deep with a wall-hung water closet or 65 inches (1650 mm) deep with a floor-mounted water closet. Toe clearance at the side partition is not required in a compartment greater than 66 inches (1675 mm) wide. Toe clearance at the front partition is not required in a compartment for children's use that is greater than 65

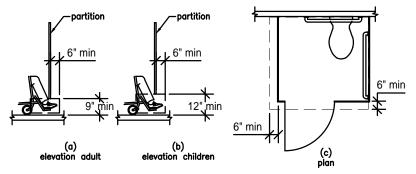


Figure 604.8.1.4 Wheelchair Accessible Toilet Compartment Toe Clearance

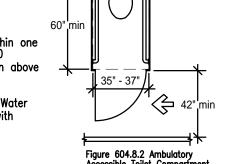
604.8.1.5 Grab Bars. Grab bars shall comply with 609. A side—wall grab bar complying with 604.5.1 shall be provided and shall be located on the wall closest to the water closet. In addition, a rear—wall grab bar complying with 604.5.2 shall be provided.

604.8.2 Ambulatory Accessible Compartments. Ambulatory accessible compartments shall comply with 604.8.2. 604.8.2.1 Size. Ambulatory accessible compartments shall have a depth of 60 inches (1525 mm) minimum and a width of 35 inches (890 mm) minimum and 37 inches (940 mm) maximum.

504.8.2.2 Doors. Toilet compartment doors, including door hardware, shall comply with 404, except that if the approach is to the latch side of the compartment door, clearance between the door side of the compartment and any obstruction shall be 42 inches (1065 mm) minimum. The door shall be self-closing. A door pull complying with 404.2.7 shall be placed on both sides of the door near the latch. Toilet compartment doors shall not swing into the minimum required compartment area.

604.8.2.3 Grab Bars. Grab bars shall comply with 609. A side-wall grab bar complying with 604.5.1 shall be provided on both sides of the

604.8.3 Coat Hooks and Shelves. Coat hooks shall be located within one of the reach ranges specified in 308. Shelves shall be located 40 inches (1015 mm) minimum and 48 inches (1220 mm) maximum above 604.9 Water Closets and Toilet Compartments for Children's Use. Water closets and toilet compartments for children's use shall comply with



604.9.1 Location. The water closet shall be located with a wall or partition to the rear and to one side. The centerline of the water closet shall be 12 inches (305 mm) minimum and 18 inches (455 mm) maximum from the side wall or partition, except that the water closet shall be 17 inches (430 mm) minimum and 19 inches (485 mm) maximum from the side wall or partition in the ambulatory accessible toilet compartment specified in 604.8.2. Compartments shall be arranged for left-hand or right-hand approach to the water

604.9.2 Clearance. Clearance around a water closet shall comply with 604.3.

604.9.3 Height. The height of water closets shall be 11 inches (280 mm) minimum and 17 inches (430 mm) maximum measured to the top of the seat. Seats shall not be sprung to return to a lifted position. 604.9.4 Grab Bars. Grab bars for water closets shall comply with 604.5.

604.9.5 Flush Controls. Flush controls shall be hand operated or automatic. Hand operated flush controls shall comply with 309.2 and 309.4 and shall be installed 36 inches (915 mm) maximum above the finish floor. Flush controls shall be located on the open side of the water closet except in ambulatory accessible compartments complying with 604.8.2.

604.9.6 Dispensers. Toilet paper dispensers shall comply with 309.4 and shall be 7 inches (180 mm) minimum and 9 inches (230 mm) maximum in front of the water closet measured to the centerline of the dispenser. The outlet of the dispenser shall be 14 inches (355 mm) minimum and 19 inches (485 mm) maximum above the finish floor. There shall be a clearance of 1 1/2 inches (38 mm) minimum below the grab bar. Dispensers shall not be of a type that controls delivery or that does not allow continuous paper flow. 604.9.7 Toilet Compartments. Toilet compartments shall comply with 604.8.

605.1 General. Urinals shall comply with 605. 605.2 Height and Depth. Urinals shall be the stall—type or the wall-hung type with the rim 17 inches (430 mm) maximum above the finish floor or ground. Urinals shall be  $13 \frac{1}{2}$  inches (345) mm) deep minimum measured from the outer face of the urinal rim to the back of the fixture.

605.3 Clear Floor Space. A clear floor or ground space

Figure 605.2 Height and Depth of Urinals complying with 305 positioned for forward approach shall be

605.4 Flush Controls. Flush controls shall be hand operated or automatic. Hand operated flush controls shall 606 Lavatories and Sinks

606.1 General. Lavatories and sinks shall comply with 606.

606.2 CLEAR FLOOR SPACE. A clear floor space complying with 305, positioned for a forward approach, and knee and toe clearance complying with 306 shall be provided. 1. A parallel approach complying with 305 shall be permitted to a kitchen sink in a space where a cook

top or conventional range is not provided and to wet bars.

2. A lavatory in a toilet room or bathing facility for a single occupant accessed only through a private office and not for common use or public use shall not be required to provide knee and toe clearance

The dip of the overflow shall not be considered in determining knee and toe clearances 606.3 HEIGHT. Lavatories and sinks shall be installed with the front of the higher of the rim or counter surface

1. A lavatory in a toilet or bathing facility for a single occupant accessed only through a private office and not for common use or public use shall not be required to comply with 606.3. 606.4 FAUCETS. Controls for faucets shall comply with 309. Hand-operated metering faucets shall remain open

606.5 EXPOSED PIPES AND SURFACES. Water supply and drain pipes under lavatories and sinks shall be insulated or otherwise configured to protect against contact, there shall be no sharp or abrasive surfaces unde lavatories and sinks. 4"- 4.8" perimeter 609 Grab Bars 609.1 General. Grab bars in toilet facilities and bathing facilities shall comply with 609.

609.2 Cross Section. Grab bars shall have a cross section complying with 609.2.1 or 609.2.2. 609.2.1 Circular Cross Section. Grab bars with circular cross sections shall have an outside diameter of 1 1/4 inches (32 mm) minimum and 2

inches (51 mm) maximum. Figure 609.2.2 Grab Bar Non-Circular Cross Section 609.2.2 Non-Circular Cross Section. Grab bars with non-circular cross sections shall have a cross-section dimension of 2 inches (51 mm) maximum and a perimeter dimension of 4 inches (100 mm) minimum and 4 inches (120 mm) maximum.

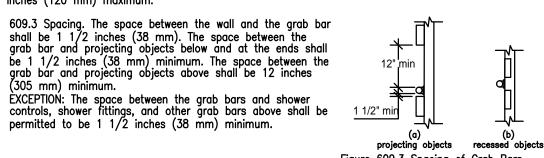


Figure 609.3 Spacing of Grab Bars 609.4 Position of Grab Bars. Grab bars shall be installed in a horizontal position, 33 inches (840 mm) minimum and 36 inches (915 mm) maximum above the finish floor measured to the top of the grippin surface, except that at water closets for children's use complying with 604.9, grab bars shall be installed in horizontal position 18 inches (455 mm) minimum and 27 inches (685 mm) maximum above the finish floor measured to the top of the gripping súrface. The height of the lower grab bar on the back wall of a bathtub shall comply with 607.4.1.1 or 607.4.2.1.

609.5 Surface Hazards. Grab bars and any wall or other surfaces adjacent to grab bars shall be free of sharp or abrasive elements and shall have rounded edges. 609.6 Fittings. Grab bars shall not rotate within their fittings

horizontal force of 250 pounds (1112 N) is applied at any point on the grab bar, fastener, mounting device, o

609.7 Installation. Grab bars shall be installed in any manner that provides a gripping surface at the specified locations and that does not obstruct the required clear floor space. 609.8 Structural Strength. Allowable stresses shall not be exceeded for materials used when a vertical or

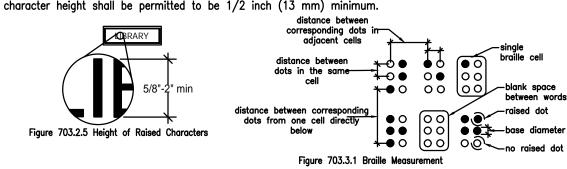
701.1 Scope. The provisions of Chapter 7 shall apply where required by Chapter 2 or where referenced by a requirement in this document.

702.1 General. Fire alarm systems shall have permanently installed audible and visible alarms complying with NFPA 72 (1999 or 2002 edition) (incorporated by reference, see "Referenced Standards" in Chapter 1), except that the maximum allowable sound level of audible notification appliances complying with section 4-3.2.1 of NFPA 72 (1999 edition) shall have a sound level no more than 110 dB at the minimum hearing distance from the audible appliance. In addition, alarms in guest rooms required to provide communication features shall comply with sections 4-3 and 4-4 of NFPA 72 (1999 edition) or sections 7.4 and 7.5 of NFPA 72 (2002 EXCEPTION: Fire alarm systems in medical care facilities shall be permitted to be provided in accordance with industry practice.

703.1 General. Signs shall comply with 703. Where both visual and tactile characters are required, either one sign with both visual and tactile characters, or two separate signs, one with visual, and one with tactile characters, shall be provided. 703.2 Raised Characters. Raised characters shall comply with 703.2 and shall be duplicated in braille complying

with 703.3. Raised characters shall be installed in accordance with 703.4. 703.2.1 Depth. Raised characters shall be 1/32 inch (0.8 mm) minimum above their background 703.2.2 Case. Characters shall be uppercase.

703.2.3 Style. Characters shall be sans serif. Characters shall not be italic, oblique, script, highly decorative, or '03.2.4 Character Proportions. Characters shall be selected from fonts where the width of the uppercase letter "0" is 55 percent minimum and 110 percent maximum of the height of the uppercase letter "1" 703.2.5 Character Height. Character height measured vertically from the baseline of the character shall be 5/8



inch (16 mm) minimum and 2 inches (51 mm) maximum based on the height of the uppercase letter "I". EXCEPTION: Where separate raised and visual characters with the same information are provided, raised

703.2.6 Stroke Thickness. Stroke thickness of the uppercase letter "I" shall be 15 percent maximum of the

703.2.7 Character Spacing. Character spacing shall be measured between the two closest points of adjacent raised characters within a message, excluding word spaces. Where characters have rectangular cross sections spacing between individual raised characters shall be 1/8 inch (3.2 mm) minimum and 4 times the raised character stroke width maximum. Where characters have other cross sections, spacing between individual raisec characters shall be 1/16 inch (1.6 mm) minimum and 4 times the raised character stroke width maximum at the base of the cross sections, and 1/8 inch (3.2 mm) minimum and 4 times the raised character stroke vidth maximum at the top of the cross sections. Characters shall be separated from raised borders and decorative elements 3/8 inch (9.5 mm) minimum.

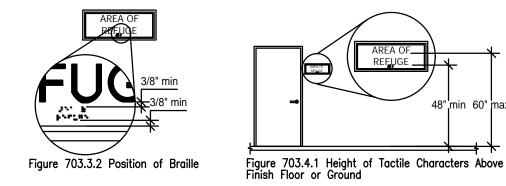
703.2.8 Line Spacing. Spacing between the baselines of separate lines of raised characters within a message shall be 135 percent minimum and 170 percent maximum of the raised character height. 703.3 Braille. Braille shall be contracted (Grade 2) and shall comply with 703.3 and 703.4.

703.3.1 Dimensions and Capitalization. Braille dots shall have a domed or rounded shape and shall comply with Table 703.3.1. The indication of an uppercase letter or letters shall only be used before the first word of sentences, proper nouns and names, individual letters of the alphabet, initials, and acronyms.

Table 703.3.1 Braille Dimensions

Measurement Range	Minimum in Inches to Maximum in Inches
Dot base diameter	0.059 (1.5 mm) to 0.063 (1.6 mm)
Distance between two 1 dots in the same cell	0.090 (2.3 mm) to 0.100 (2.5 mm) measured center to center
Distance between corresponding dots in adjacent cells <sup>1</sup>	0.241 (6.1 mm) to 0.300 (7.6 mm)measured center to center
Dot height	0.025 (0.6 mm) to 0.037 (0.9 mm)
Distance between corresponding dotsfrom one cell directly below <sup>1</sup>	0.395 (10 mm) to 0.400 (10.2 mm)measured center to center
1 Measured center to center	

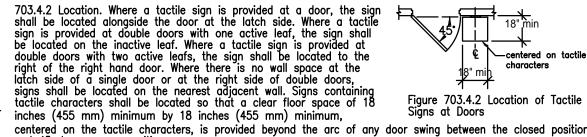
703.3.2 Position. Braille shall be positioned below the corresponding text. If text is multi—lined, braille shall be placed below the entire text. Braille shall be separated 3/8 inch (9.5 mm) minimum from any other tactile characters and 3/8 inch (9.5 mm) minimum from raised borders and decorative elements. EXCEPTION: Braille provided on elevator car controls shall be separated 3/16 inch (4.8 mm) minimum and shall be located either directly below or adjacent to the corresponding raised characters or symbols.



703.4 Installation Height and Location. Signs with tactile characters shall comply with 703.4.

703.4.1 Height Above Finish Floor or Ground. Tactile characters on signs shall be located 48 inches (1220 mm) minimum above the finish floor or ground surface, measured from the baseline of the lowest tactile character and 60 inches (1525 mm) maximum above the finish floor or ground surface, measured from the baseline of the highest tactile character.

EXCEPTION: Tactile characters for elevator car controls shall not be required to comply with 703.4.1.



EXCEPTION: Signs with tactile characters shall be permitted on the push side of doors with closers and without hold—open devices. 703.5 Visual Characters. Visual characters shall comply with 703.5. EXCEPTION: Where visual characters comply with 703.2 and are accompanied by braille complying with 703.3, they shall not be required to comply with 703.5.2 through 703.5.9.

703.5.2 Case. Characters shall be uppercase or lowercase or a combination of both. 703.5.3 Style. Characters shall be conventional in form. Characters shall not be italic, oblique, script, highly

703.5.1 Finish and Contrast. Characters and their background shall have a non-glare finish. Characters shall

contrast with their background with either light characters on a dark background or dark characters on a light

703.5.4 Character Proportions. Characters shall be selected from fonts where the width of the uppercase letter "0" is 55 percent minimum and 110 percent maximum of the height of the uppercase letter ' measured as the horizontal distance between the character and an obstruction preventing further approach towards the sign. Character height shall be based on the uppercase letter "I'

#### Table 703.5.5 Visual Character Height

	Height to Finish Floor or Ground From Baseline of Character	Horizontal Viewing Distance	Minimum Character Height	g
	40 inches (1015 mm) to less	less than 72 inches (1830 mm)	5/8 inch (16 mm)	9
l	than or equal to 70 inches (1780 mm)	72 inches (1830 mm) and greater	5/8 inch (16 mm), plus 1/8 inch (3.2 mm) per foot (305 mm) of viewing distance above 72 inches (1830 mm)	E
	Greater than 70 inches (1780	less than 180 inches (4570 mm)	2 inch (51 mm)	t
p	mm) to less than or equal to 120 inches (3050 mm)	180 inches (4570 mm) and greater	2 inches (51 mm), plus 1/8 inch (3.2 mm) per foot (305 mm) of viewing distance above 180 inches (4570 mm)	
	Greater than 120 inches	less than 21 feet (6400 mm)	3 inch (75 mm)	
or	(3050 mm)	21 feet (6400 mm) and greater	3 inches (75 mm), plus 1/8 inch (3.2 mm) per foot (305 mm) of viewing distance above 21 feet (6400 mm)	

703.5.6 Height From Finish Floor or Ground. Visual characters shall be 40 inches (1015 mm) minimum above the finish floor or ground. EXCEPTION: Visual characters indicating elevator car controls shall not be required to comply with 703.5.6. 703.5.7 Stroke Thickness. Stroke thickness of the uppercase letter "1" shall be 10 percent minimum and 30 percent maximum of the height of the character. 703.5.8 Character Spacing. Character spacing shall be measured between the two closest points of adjacent characters, excluding word spaces. Spacing between individual characters shall be 10 percent minimum and 35 percent maximum of character height.

703.5.9 Line Spacing. Spacing between the baselines of separate lines of characters within a message shall l 135 percent minimum and 170 percent maximum of the character height.

703.6 Pictograms. Pictograms shall comply with 703.6. 703.6.1 Pictogram Field. Pictograms shall have a field height of 6 inches (150 mm) minimum. Characters and braille shall not be located in the

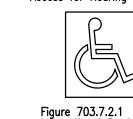
703.6.2 Finish and Contrast. Pictograms and their field shall have a non-glare finish. Pictograms shall contrast with their field with either a light pictogram on a ďark field or a dark pictogram on a light field.

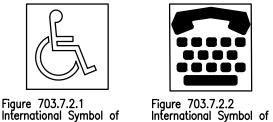
Figure 703.6.1 Pictogram Field 703.6.3 Text Descriptors. Pictograms shall have text descriptors located directly below the pictogram field. Text descriptors shall comply with 703.2, 703.3 and 703.4. 703.7 Symbols of Accessibility. Symbols of accessibility shall comply with 703.7

703.7.1 Finish and Contrast. Symbols of accessibility and their background shall have a non-glare finish. Symbols of accessibility shall contrast with their background with either a light symbol on a dark background or a dark symbol on a light background.

703.7.2.1 International Symbol of Accessibility. The International Symbol of Accessibility shall comply with Figure 703.7.2.1. 703.7.2.2 International Symbol of TTY. The International Symbol of TTY shall comply with Figure 703.7.2.2.

703.7.2.3 Volume Control Telephones. Telephones with a volume control shall be identified by a pictogram of a telephone handset with radiating sound waves on a square field such as shown in Figure 703.7.2.3. 703.7.2.4 Assistive Listening Systems. Assistive listening systems shall be identified by the International Symbol of Access for Hearing Loss complying with Figure 703.7.2.4.









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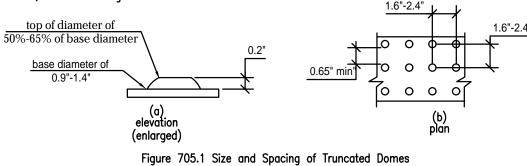
pictogram field

705 Detectable Warnings

705.1 General. Detectable warnings shall consist of a surface of truncated domes and shall comply with 705. 705.1.1 Dome Size. Truncated domes in a detectable warning surface shall have a base diameter of 0.9 inch (23 mm) minimum and 1.4 inches (36 mm) maximum, a top diameter of 50 percent of the base diameter minimum to 65 percent of the base diameter maximum, and a height of 0.2 inch (5.1 mm).

705.1.2 Dome Spacing. Truncated domes in a detectable warning surface shall have a center—to—center spacing of 1.6 inches (41 mm) minimum and 2.4 inches (61 mm) maximum, and a base—to—base spacing of 0.65 inch (17 mm) minimum, measured between the most adjacent domes on a square grid.

705.1.3 Contrast. Detectable warning surfaces shall contrast visually with adjacent walking surfaces either ight-on-dark, or dark-on-light.



705.2 PLATFORM EDGES. Detectable warning surfaces at platform boarding edges shall be 24 inches (610 mm) wide and shall extend the full length of the public use areas of the platform.

CHAPTER 9: BUILT-IN ELEMENTS

901 General

901.1 Scope. The provisions of Chapter 9 shall apply where required by Chapter 2 or where referenced by a requirement in this document. 902 Dining Surfaces and Work Surfaces

902.1 General. Dining surfaces and work surfaces shall comply with 902.2 and 902.3. EXCEPTION: Dining surfaces and work surfaces for children's use shall be permitted to comply with 902.4. 902.2 Clear Floor or Ground Space. A clear floor space complying with 305 positioned for a forward approach shall be provided. Knee and toe clearance complying with 306 shall be provided.

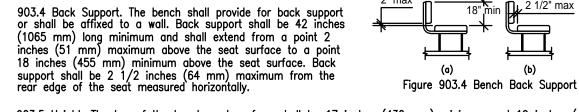
902.3 Height. The tops of dining surfaces and work surfaces shall be 28 inches (710 mm) minimum and 34 inches (865 mm) maximum above the finish floor or ground. 902.4 Dining Surfaces and Work Surfaces for Children's Use. Accessible dining surfaces and work surfaces for children's use shall comply with 902.4. EXCEPTION: Dining surfaces and work surfaces that are used primarily by children 5 years and younger shall not be required to comply with 902.4 where a clear floor or ground space complying with 305 positioned for a

902.4.1 Clear Floor or Ground Space. A clear floor space complying with 305 positioned for forward approach shall be provided. Knee and toe clearance complying with 306 shall be provided, except that knee clearance 24 inches (610 mm) minimum above the finish floor or ground shall be permitted.

902.4.2 Height. The tops of tables and counters shall be 26 inches (660 mm) minimum and 30 inches (760 mm)

903.2 Clear Floor or Ground Space. Clear floor or ground space complying with 305 shall be provided and shall be positioned at the end of the bench seat and parallel to the short axis of the bench. 903.3 Size. Benches shall have seats that are 42 inches (1065 mm) long minimum and 20 inches (510 mm) deep minimum and 24 inches (610 mm) deep maximum.

903.1 General. Benches shall comply with 903.



903.5 Height. The top of the bench seat surface shall be 17 inches (430 mm) minimum and 19 inches (485 mm) maximum above the finish floor or ground. 903.6 Structural Strength. Allowable stresses shall not be exceeded for materials used when a vertical or horizontal force of 250 pounds (1112 N) is applied at any point on the seat, fastener, mounting device, or

supporting structure. 903.7 Wet Locations. Where installed in wet locations, the surface of the seat shall be slip resistant and shall not 904 Check—Out Aisles and Sales and Service Counters

904.1 General. Check—out aisles and sales and service counters shall comply with the applicable requirements of 904.2 Approach. All portions of counters required to comply with 904 shall be located adjacent to a walking surface complying with 403.

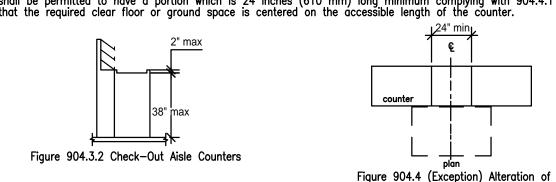
904.3 Check-Out Aisles. Check-out aisles shall comply with 904.3. 904.3.1 Aisle. Aisles shall comply with 403.

904.4.1 Parallel Approach. A portion of the counter surface that

904.5 Food Service Lines. Counters in food service lines shall comply with 904.5.

904.3.2 Counter. The counter surface height shall be 38 inches (965 mm) maximum above the finish floor or ground. The top of the counter edge protection shall be 2 inches (51 mm) maximum above the top of the counter surface on the aisle side of the check—out counter.

904.3.3 Check Writing Surfaces. Where provided, check writing surfaces shall comply with 902.3. 904.4 Sales and Service Counters. Sales counters and service counters shall comply with 904.4.1 or 904.4.2. The accessible portion of the counter top shall extend the same depth as the sales or service counter top. EXCEPTION: In alterations, when the provision of a counter complying with 904.4 would result in a reduction of the number of existing counters at work stations or a reduction of the number of existing mail boxes, the counter shall be permitted to have a portion which is 24 inches (610 mm) long minimum complying with 904.4.1 provided



is 36 inches (915 mm) long minimum and 36 inches (915 mm) high maximum above the finish floor shall be provided. A clear floor or ground space complying with 305 shall be positioned for a parallel approach adjacent to the 36 inch (915 mm) minimum length of counter. EXCEPTION: Where the provided counter surface is less than 36 inches (915 mm) long, the entire counter surface shall be 36 inches (915 mm) high maximum above the finish floor.

904.4.2 Forward Approach. A portion of the counter surface that is 30 inches (760 mm) long minimum and 36 inches (915 mm) high maximum shall be provided. Knee and toe space complying with 306 shall be provided under the counter. A clear floor or ground space complying with 305 shall be positioned for a forward approach

904.5.1 Self-Service Shelves and Dispensing Devices. Self-service shelves and dispensing devices for tableware, dishware, condiments, food and beverages shall comply with 308. 904.5.2 Tray Slides. The tops of tray slides shall be 28 inches (710 mm) minimum and 34 inches (865 mm) maximum above the finish floor or ground. 904.6 Security Glazing. Where counters or teller windows have security glazing to separate personnel from the public, a method to facilitate voice communication shall be provided. Telephone handset devices, if provided, shall

\_\_\_\_ ON  $\geq$ 

65C MA  $\sim$ 

DESCRIPTION .07.22 OWNER REVIEW ISSU

**ACCESSIBILITY GUIDELINES** 

SHEET NUMBER:

JAJ21024

IRVING, TX 75063 PHONE 972.870.1288 E-MAIL scottw@idstudio4.com CORPORATE

DAVID SCOTT

WINDLE, AIA

6201 CAMPUS CIRCLE DRIVE E.

ARCHITECT:

FOCUS Brands 5620 Glenridge Dr. NE Atlanta, Georgia 30342 314.630.5565

www.focusbrands.com

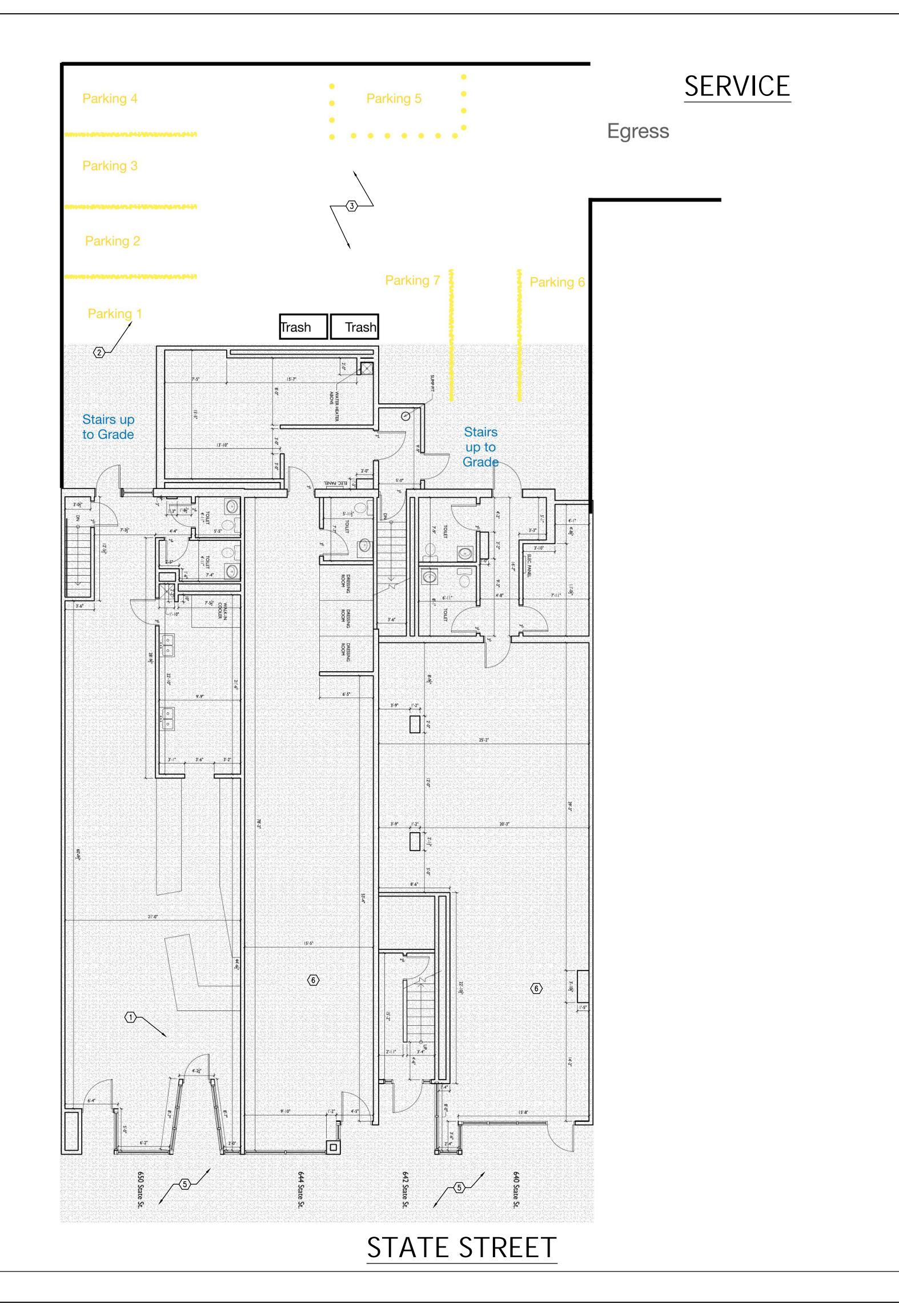
SOONS DAVID SCOT WINDLE

TWISTED CESAR HE

@Amm( milific

SHEET TITLE:

01/31/22



GENERAL NOTES

1 ARCHITECTURAL SITE PLAN FOR REFERENCE ONLY.

1 ARCHITECTURAL SITE PLAN FOR REFERENCE ONLY.

GENERAL CONTRACTOR IS TO COORDINATE WITH DRIVE—THRU VENDOR

COMPANY TO INSTALL CONCRETE FOOTING FOR ALL SIGNS/MENU BOARDS.
FOOTING SHOWN HERE ARE TYPICAL. OBTAIN DRIVE—THRU VENDOR DRAWINGS
TO VERIFY PRIOR TO POURING FOOTINGS.

GENERAL CONTRACTOR TO COORDINATE ADDITIONAL DIRECTIONAL SIGNAGE AS
REQUIRED BY OWNER.

THE CONTRACT DOCUMENTS ARE COMPLIMENTARY, AND WHAT IS REQUIRED BY
ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL THE CONTRACTOR SHALL
COORDINATE ALL PORTIONS OF THE WORK AS DESCRIBED IN THE CONTRACT

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COORDINATE ALL PORTIONS OF THE WOR 4 COORDINATE ALL PORTIONS OF THE WORK AS DESCRIBED IN THE CONTRACT DOCUMENTS. NOTIFY THE ARCHITECT FOR RESOLUTION OF ALL DISCREPANCIES PRIOR TO CONSTRUCTION.

REFERENCE ELECTRICAL DRAWINGS FOR ELECTRICAL REQUIREMENTS FOR EXTERIOR DRIVE THRU EQUIPMENT/ SIGNS.

1 JAMBA/ AUNTIE ANNE'S SPACE.

2 EXISTING ACCESSIBLE PARKING BY LANDLORD.

3 EXISTING PARKING BY LANDLORD 4 NOT USED

5 EXISTING SIDEWALK. 6 ADJACENT TENANT

7 NOT USED

ARCHITECT:

ORPORATE:

**FOCUS Brands** 5620 Glenridge Dr. NE

Atlanta, Georgia 30342 314.630.5565 www.focusbrands.com WISCONS/ DAVID SCOTT WINDLE A-6390 Dallas, Texas

01/31/22

JAMBA/AUNTIE ANNE'S
MADISON WISCONSIN
650 STATE STREET
MADISON, WI 53703



: TWISTED PRETZEL, I CESAR HERNANDEZ

DATE DESCRIPTION
01.07.22 OWNER REVIEW ISSUE

DATE DESCRIPTION
09.15.21 PORT AUTHORITY COMMENTS

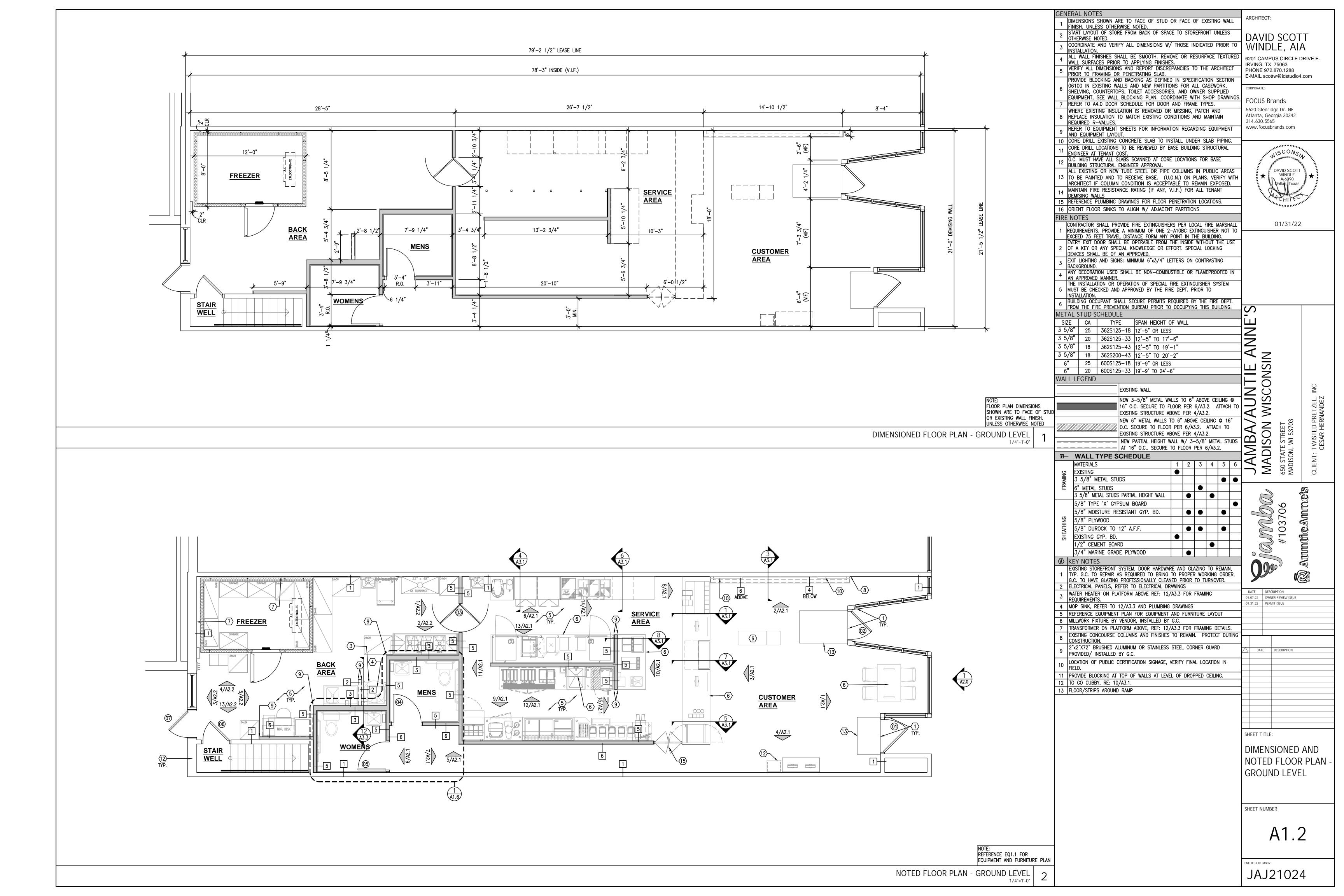
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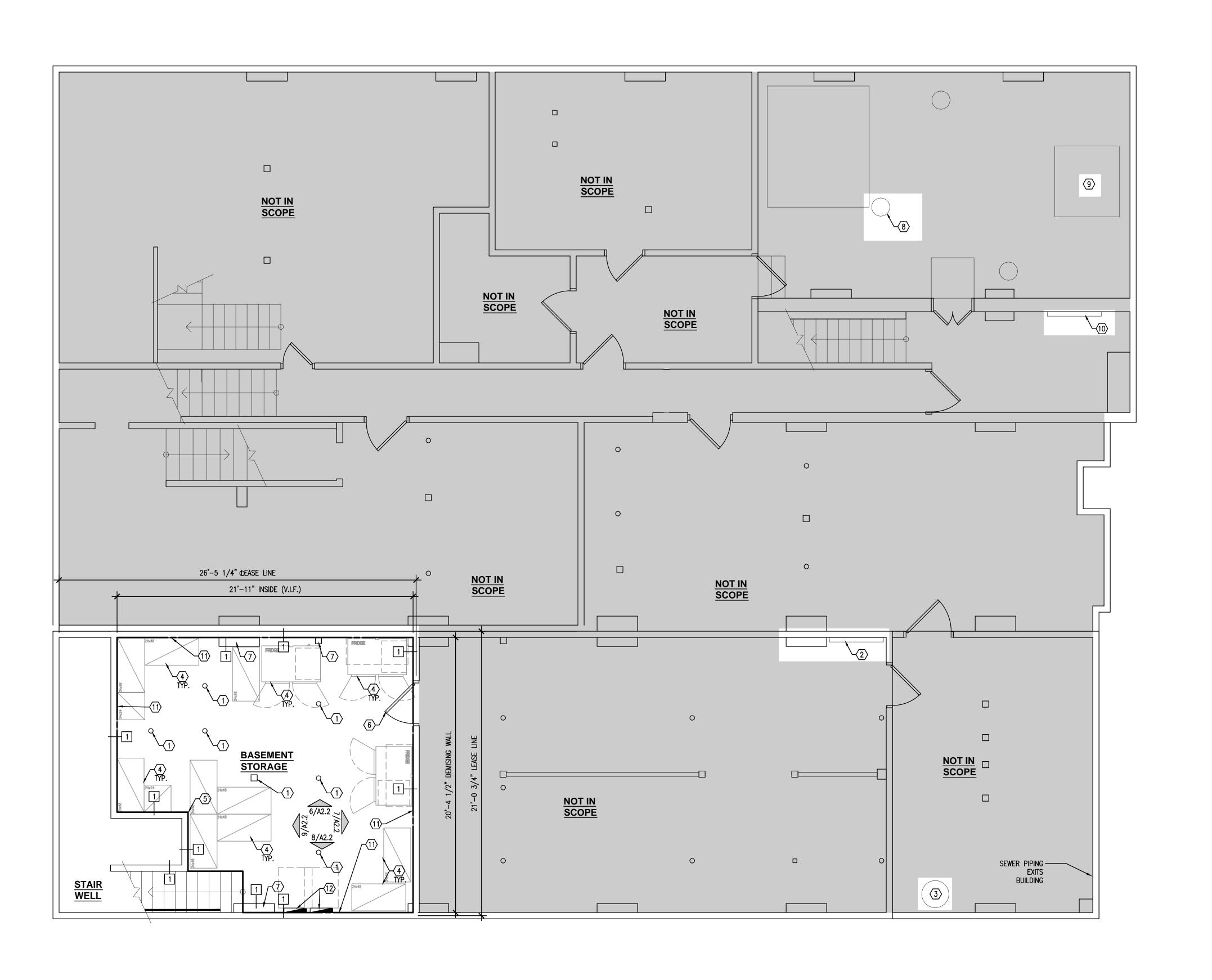
SITE PLAN

SHEET NUMBER:

A1.0

SITE PLAN N.T.S.





GENERAL NOTES ARCHITECT: DIMENSIONS SHOWN ARE TO FACE OF STUD OR FACE OF EXISTING WALL FINISH. UNLESS OTHERWISE NOTED.

START LAYOUT OF STORE FROM BACK OF SPACE TO STOREFRONT UNLESS DAVID SCOTT OTHERWISE NOTED. COORDINATE AND VERIFY ALL DIMENSIONS W/ THOSE INDICATED PRIOR TO ALL WALL FINISHES SHALL BE SMOOTH. REMOVE OR RESURFACE TEXTURED 6201 CAMPUS CIRCLE DRIVE E. WALL SURFACES PRIOR TO APPLYING FINISHES. IRVING, TX 75063 VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES TO THE ARCHITECT PHONE 972.870.1288 PRIOR TO FRAMING OR PENETRATING SLAB. E-MAIL scottw@idstudio4.com PROVIDE BLOCKING AND BACKING AS DEFINED IN SPECIFICATION SECTION 06100 IN EXISTING WALLS AND NEW PARTITIONS FOR ALL CASEWORK, SHELVING, COUNTERTOPS, TOILET ACCESSORIES, AND OWNER SUPPLIED EQUIPMENT, SEE WALL BLOCKING PLAN. COORDINATE WITH SHOP DRAWINGS FOCUS Brands 7 REFER TO A4.0 DOOR SCHEDULE FOR DOOR AND FRAME TYPES. 5620 Glenridge Dr. NE WHERE EXISTING INSULATION IS REMOVED OR MISSING, PATCH AND Atlanta, Georgia 30342 B REPLACE INSULATION TO MATCH EXISTING CONDITIONS AND MAINTAIN 314.630.5565 REQUIRED R-VALUES. 9 REFER TO EQUIPMENT SHEETS FOR INFORMATION REGARDING EQUIPMENT AND EQUIPMENT LAYOUT.

10 CORE DRILL EXISTING CONCRETE SLAB TO INSTALL UNDER SLAB PIPING. www.focusbrands.com CORE DRILL LOCATIONS TO BE REVIEWED BY BASE BUILDING STRUCTURAL "NSCONS 11 ENGINEER AT TENANT COST.

12 G.C. MUST HAVE ALL SLABS SCANNED AT CORE LOCATIONS FOR BASE BUILDING STRUCTURAL ENGINEER APPROVAL.

ALL EXISTING OR NEW TUBE STEEL OR PIPE COLUMNS IN PUBLIC AREAS DAVID SCOTT WINDLE TO BE PAINTED AND TO RECEIVE BASE. (U.O.N.) ON PLANS. VERIFY WITH ARCHITECT IF COLUMN CONDITION IS ACCEPTABLE TO REMAIN EXPOSED. MAINTAIN FIRE RESISTANCE RATING (IF ANY, V.I.F.) FOR ALL TENANT DEMISING WALLS 15 REFERENCE PLUMBING DRAWINGS FOR FLOOR PENETRATION LOCATIONS. 16 ORIENT FLOOR SINKS TO ALIGN W/ ADJACENT PARTITIONS FIRE NOTES 01/31/22 CONTRACTOR SHALL PROVIDE FIRE EXTINGUISHERS PER LOCAL FIRE MARSHALL REQUIREMENTS. PROVIDE A MINIMUM OF ONE 2-A10BC EXTINGUISHER NOT TO EXCEED 75 FEET TRAVEL DISTANCE FORM ANY POINT IN THE BUILDING.

EVERY EXIT DOOR SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE 2 OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. SPECIAL LOCKING DEVICES SHALL BE OF AN APPROVED. EXIT LIGHTING AND SIGNS: MINIMUM 6"x3/4" LETTERS ON CONTRASTING BACKGROUND.

4 ANY DECORATION USED SHALL BE NON—COMBUSTIBLE OR FLAMEPROOFED IN AN APPROVED MANNER.

THE INSTALLATION OR OPERATION OF SPECIAL FIRE EXTINGUISHER SYSTEM MUST BE CHECKED AND APPROVED BY THE FIRE DEPT. PRIOR TO INSTALLATION.
BUILDING OCCUPANT SHALL SECURE PERMITS REQUIRED BY THE FIRE DEPT. FROM THE FIRE PREVENTION BUREAU PRIOR TO OCCUPYING THIS BUILDING. METAL STUD SCHEDULE SIZE GA TYPE SPAN HEIGHT OF WALL TIE ANNI 3 5/8" 25 362S125-18 12'-5" OR LESS 3 5/8" 20 362S125-33 12'-5" TO 17'-6" 3 5/8" 18 362S125-43 12'-5" TO 19'-1" 3 5/8" 18 362S200-43 12'-5" TO 20'-2" 6" | 25 | 600S125-18 | 19'-9" OR LESS 6" 20 600S125-33 19'-9' TO 24'-6" WALL LEGEND EXISTING WALL

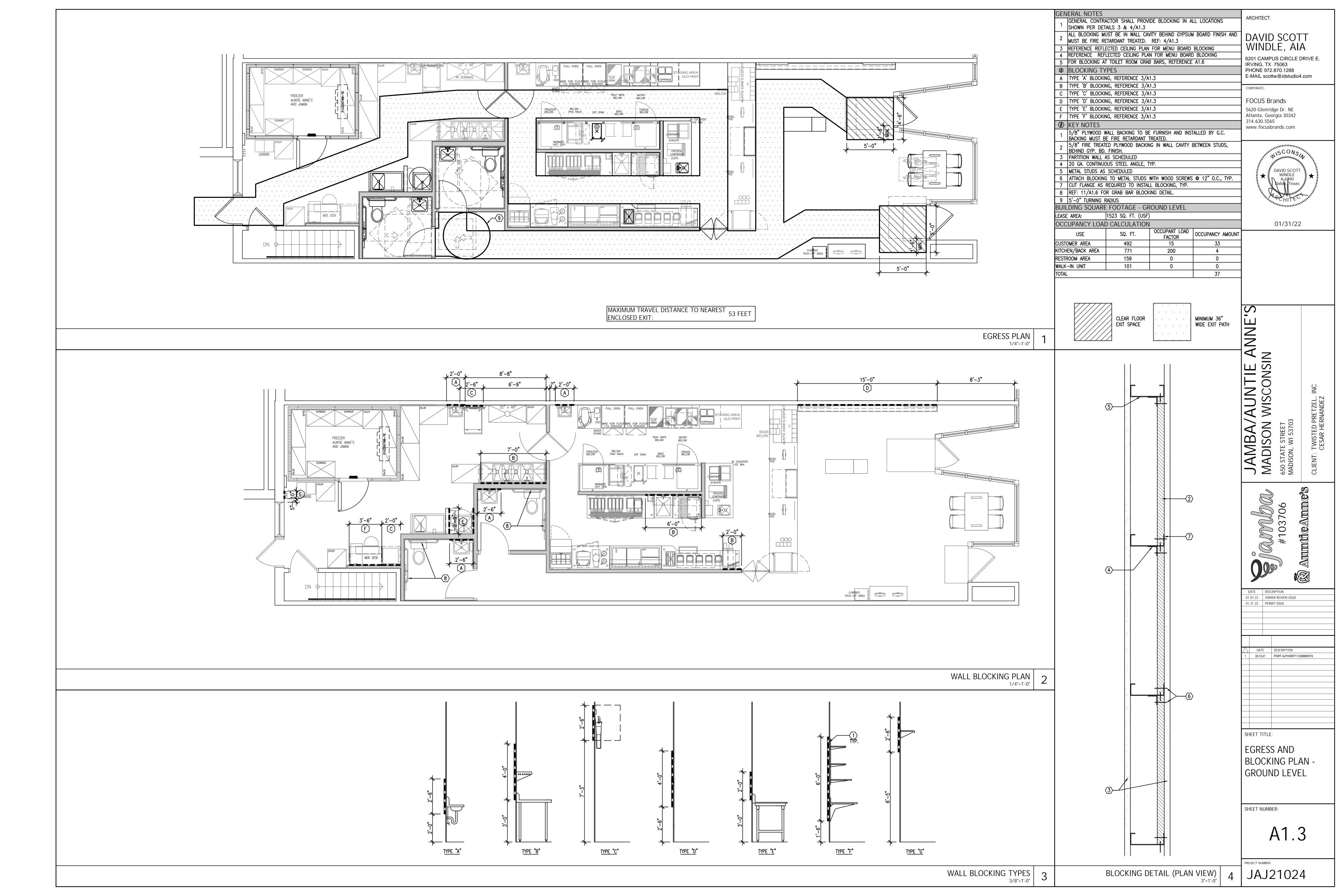
NEW 3-5/8" METAL WALLS TO 6" ABOVE CEILING ©

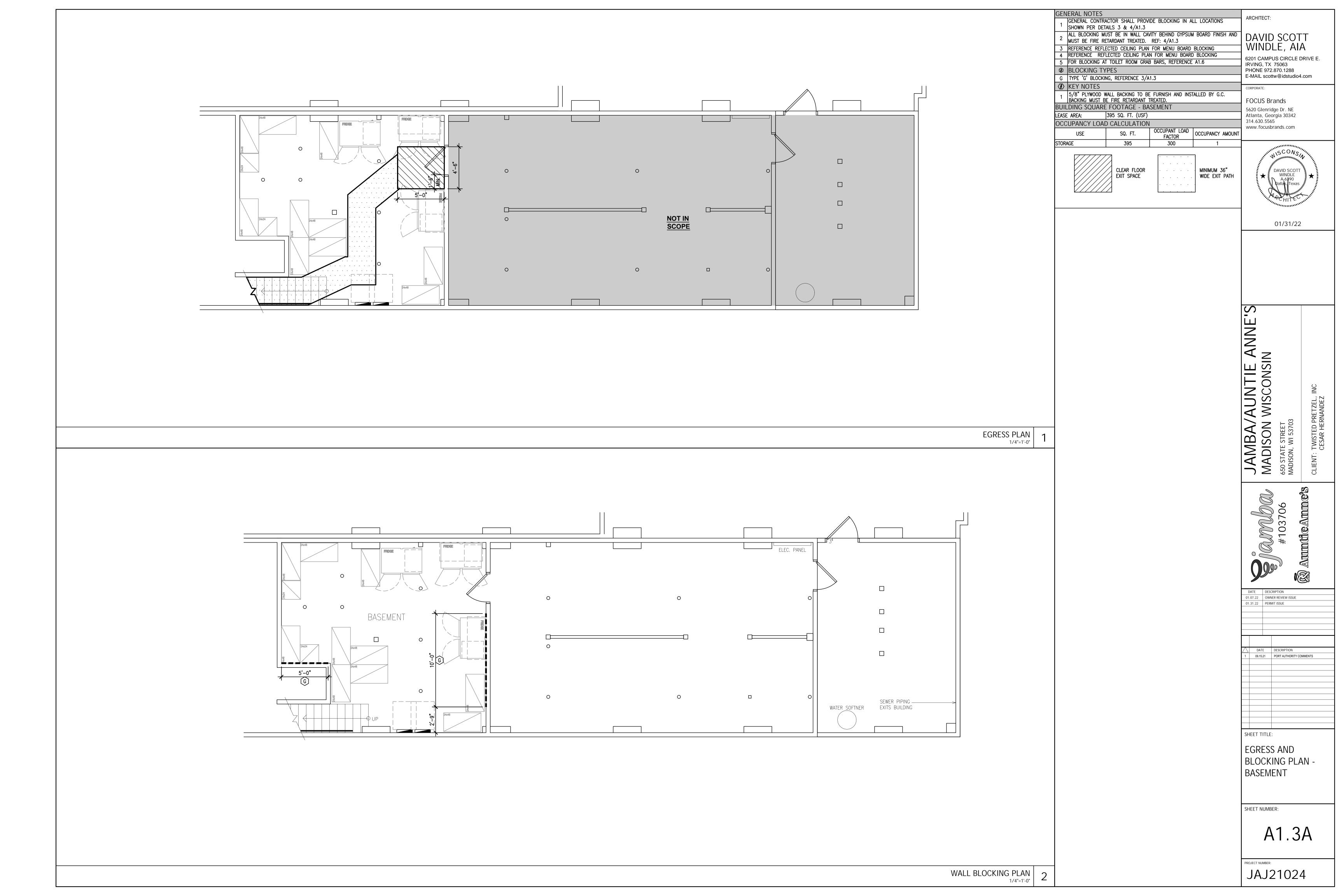
16" O.C. SECURE TO FLOOR PER 6/A3.2. ATTACH TO

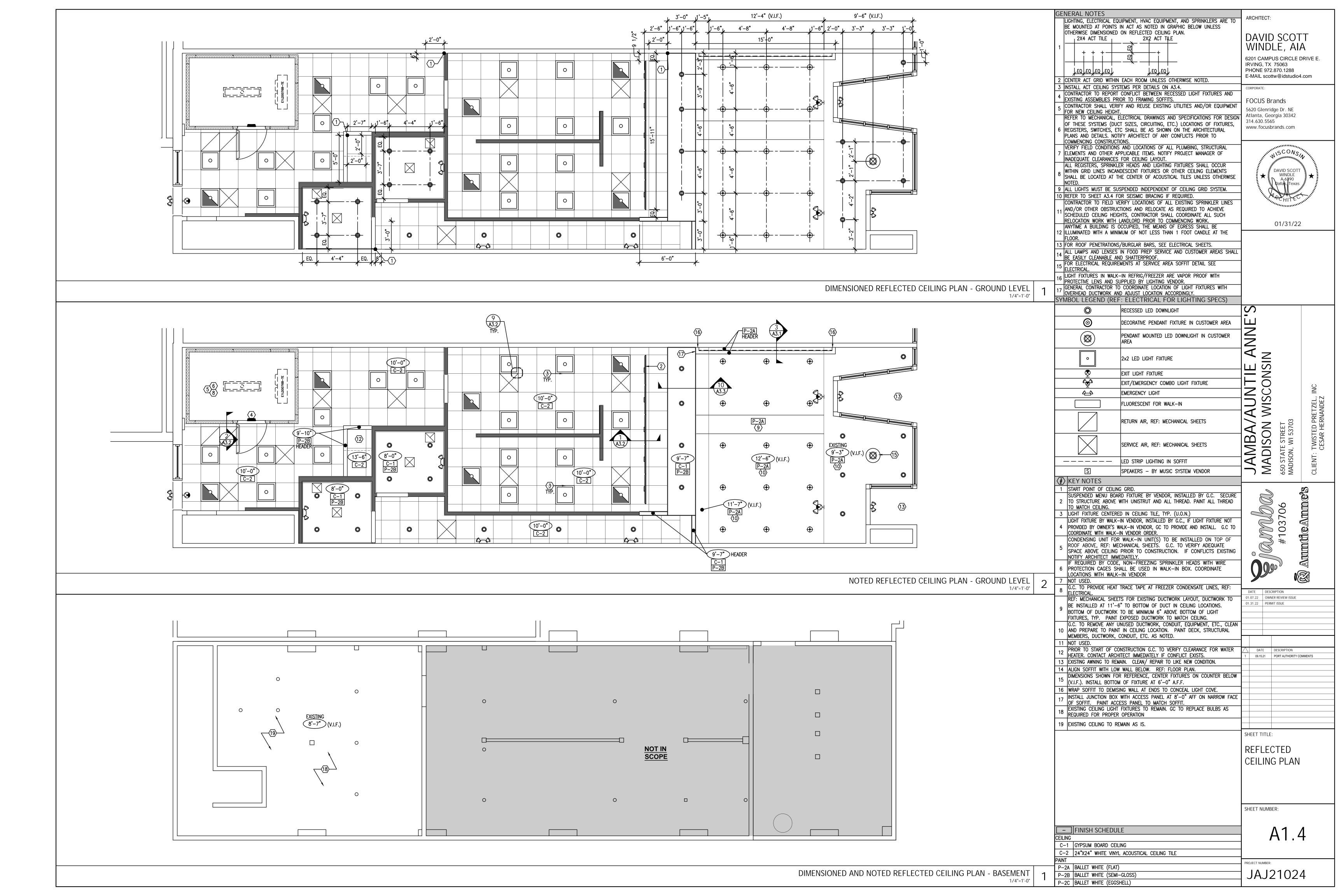
EXISTING STRUCTURE ABOVE PER 4/A3.2. TWISTED PRETZEL, CESAR HERNANDEZ AMBA/ NEW 6" METAL WALLS TO 6" ABOVE CEILING @ 16" 0.C. SECURE TO FLOOR PER 6/A3.2. ATTACH TO EXISTING STRUCTURE ABOVE PER 4/A3.2. NEW PARTIAL HEIGHT WALL W/ 3-5/8" METAL STUDS = AT 16" O.C.. SECURE TO FLOOR PER 6/A3.2. **☑**— WALL TYPE SCHEDULE 1 2 3 4 5 6 MATERIALS EXISTING 3 5/8" METAL STUDS 6" METAL STUDS 3 5/8" METAL STUDS PARTIAL HEIGHT 5/8" TYPE 'X' GYPSUM BOARD 5/8" MOISTURE RESISTANT GYP. BD. 5/8" PLYWOOD 5/8" DUROCK TO 12" A.F.F. EXISTING GYP. BD. W/ ONE-HOUR RATING, MAINTAIN PER 8/A3.2 1/2" CEMENT BOARD 3/4" MARINE GRADE PLYWOOD (#) KEY NOTES 1 EXISTING COLUMNS TO REMAIN. PROTECT DURING CONSTRUCTION. 2 EXISTING ELECTRICAL PANELS, REFER TO ELECTRICAL DRAWINGS 3 EXISTING WATER HEATER. REFER TO PLUMBING DRAWINGS 4 REFERENCE EQUIPMENT PLAN FOR EQUIPMENT LAYOUT 01.31.22 PERMIT ISSUE 2"x2"X72" BRUSHED ALUMINUM OR STAINLESS STEEL CORNER GUARD PROVIDED/ INSTALLED BY G.C. 6 EXISTING DOOR AND FRAME TO REMAIN. 7 EXISTING BUMP OUT 8 EXISTING SUMP PIT. 9 EXISTING GAS METER. 10 EXISTING SEWER PIPING EXITS BUILDING. 11 GC TO PATCH AND REPAIR EXISTING WALL TO MEET LOCAL CODE. PREP WALLS FOR NEW FINISH. REFER TO ELEVATIONS.

12 NEW ELECTRICAL PANEL, REFER TO ELECTRICAL. SHEET TITLE: DIMENSIONED AND NOTED FLOOR PLAN **BASEMENT** SHEET NUMBER: PROJECT NUMBER: JAJ21024

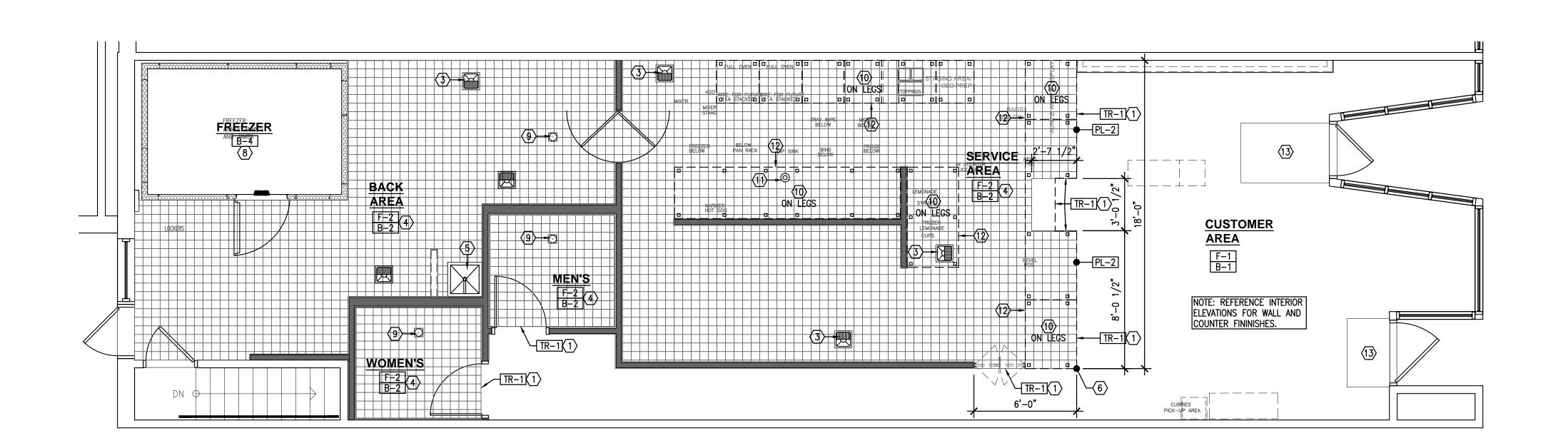
REFERENCE EQ1.1 FOR EQUIPMENT AND FURNITURE PLAN







INISH SCHEDULE										ARCHITECT:
ODE MATERIAL	MANUFACTURER	MODEL	FURNISHED F- INSTALLED F- FIRMISHED	INSTALLED OMNER FURNISHED INSTALLED INSTALLED		MODULE	LOCATION	REMARKS	CONTACT INFORMATION	DAVID SO WINDLE,
FINISHES		- n - n n			OFF DOD FOR DAWY ON OR	r /o**	OFFINIOF AREA / RAOK AREA		LOCALLY COLUMNIA	6201 CAMPUS CIF IRVING, TX 75063
-1 GYPSUM BOARD CEILING		TYPE "X"			SEE RCP FOR PAINT COLOR	5/8"	SERVICE AREA/ BACK AREA	POLIFETTOOK DEANS OF THE STATE AND A STATE OF THE STATE O	LOCALLY SOURCED	PHONE 972.870.12
-2 WHITE VINYL CEILING TILE 2X2	USG INTERIORS	CLIMA PLUS #3260			WHITE / VINYL FACED	24"x24"	SERVICE AREA	"SHEETROCK BRAND CLIMA PLUS VINYL" WITH USG DX 15/16" WHITE SUSPENSION SYSTEM	WWW.USG.COM	E-MAIL scottw@ids
-1 POLISHED CONCRETE	HTC, INC. OR LOCAL VENDOR	HTC SUPERFLOOR			NATURAL	GRIND LEVEL: GOLD	CUSTOMER AREA	REF: SPECIFICATION SHEETS SP1.2 SECTION 03530	LOCAL VENDOR OR DAVID STRATON, 916.725.9269	CORPORATE:
2 QUARRY TILE	CREATIVE MATERIALS CORP.	QUARRY TILE	<del></del>		DARK GREY	6"x6"	BACK, SERVICE	TILES ARE SMOOTH AND WASHABLE WITH GROUT: MAPEI 400 SERIES KERAPOXY #09, 1/8"	CREATIVE MATERIALS CORPORATION (CMC) JAMBATILE@CREATIVEMATERIALSCORP.COM, 800.207.2967, EXT. JAMB (5262)	FOCUS Brands
OVE) FINISHES										5620 Glenridge Dr Atlanta, Georgia 3
-1 LOBBY BASE	CREATIVE MATERIALS CORP.	EXTREME MUD	•	●│●∥ │	EXTREME MUD	6"X12" COVE	CUSTOMER AREA WALLS	MIN. 3/8" COVE, WITH GROUT; MAPEI, 400 SERIES KERAPOXY, #09 GRAY 1/8"	CREATIVE MATERIALS CORPORATION (CMC) JAMBATILE@CREATIVEMATERIALSCORP.COM, 800.207.2967, EXT. JAMB (5262)	314.630.5565
-2 6" QUARRY TILE (COVED)	CREATIVE MATERIALS CORP.	QUARRY TILE			DARK GREY	6"x6"	BACK, SERVICE	MIN. 3/8" COVE, WITH GROUT; MAPEI, 400 SERIES KERAPOXY, #09 GRAY 1/8"	CREATIVE MATERIALS CORPORATION (CMC) JAMBATILE@CREATIVEMATERIALSCORP.COM, 800.207.2967, EXT. JAMB (5262)	www.focusbrands
OR PAINT										
2A PAINT (CUSTOMER)	BENJAMIN MOORE	REGAL SELECT, FLAT	<del>-    </del> -		OC-9 BALLET WHITE	ZERO VOC	OPEN CEILING	NO SUBSTITUTIONS ALLOWED. PRIMER + 2 FINISH COATS	LOCAL BENJAMIN MOORE	.,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,
2B PAINT (SERVICE, BACK AREA)	BENJAMIN MOORE	REGAL SELECT, SEMI-GLOSS			OC-9 BALLET WHITE	ZERO VOC	SERVICE AREA	NO SUBSTITUTIONS ALLOWED. PRIMER + 2 FINISH COATS	LOCAL BENJAMIN MOORE	zzr. zgrinnun
2C PAINT (CUSTOMER)	WOLF GORDON SCUFFMASTER	EGGSHELL			SCRUBTOUGH GOH3220934 "BALLET WHITE"	ZERO VOC	CUSTOMER AREA WALLS	NO SUBSTITUTIONS ALLOWED. PRIMER + 2 FINISH COATS	WWW.SCRUFFMASTER.COM/WHERE-TO-BUY; REP: KAELIN STORSCHEIN, KAELIN.STROLCHENI@WOLFGORDON.COM	DAVI
3 PAINT (PVC PIPES)	BENJAMIN MOORE	GLOSS LATEX ENAMEL			1485 BRUSHED ALUMINUM		VISIBLE PVC PIPES IN SERVICE AREA	NO SUBSTITUTIONS ALLOWED	LOCAL BENJAMIN MOORE	
-4 PAINT (STOREFRONT) — EXTERIO	OR BENJAMIN MOORE	ULTRA SPEC HP CTM ACRYLIC LOW LUSTRE	•	●│●∥ │	FIDDLEHEAD GREEN, 2041-20		STOREFRONT ENTRANCE DOOR(S)	PREP DOOR PER MAUFACTURER'S SPECIFICATIONS (CLEAN, SAND, CLEAN AGAIN). 1ST COAT ULTRA SPEC METAL PRIMER HP04. 2ND AND 3RD COAT UTLRA SPEC HP DTM ACRYLIC LOW LUSTRE.	HP ACRYLIC LOCAL BENJAMIN MOORE	#####################################
-5 PAINT (CUSTOMER)	BENJAMIN MOORE	REGAL SELECT, SEMI-GROSS			FIDDLEHEAD GREEN, 2041–20		CUSTOMER AREA	NO SUBSTITUTIONS ALLOWED. PRIMER + 2 FINISH COATS	LOCAL BENJAMIN MOORE	The state of the s
-6A PAINT (CUSTOMER)	BENJAMIN MOORE	REGAL SELECT, FLAT			NAVAL 6244		CUSTOMER AREA	NO SUBSTITUTIONS ALLOWED. PRIMER + 2 FINISH COATS	LOCAL BENJAMIN MOORE	
COVERING		·								01/
–2 FRP	MARLITE, CLASS III/C	STANDARD FRP			P100, WHITE	PEBBLED SURFACE	SERVICE AREA, BACK AREA		ANITA CRAIG: ACRAIG@MARLITE.COM 330.260.7621	
/-3 JAMBA MURAL [GO4] ON EQUIPMENT SCHEDULE	GRAPHICS VENDOR	VINYL		•	CUSTOM IMAGE	REF: ELEVATIONS	SERVICE AREA AT BLENDERS	DIMENSIONS MUST BE FIELD VERIFIED PRIOR TO FABRICATION; INSURE THE GRAPHIC INSTALL GUIDE FROM GRAPHICS VENDOR IS FOLLOWED TO ENSURE THE WALL SURFACE IS PROPERLY PREPPED TO RECEIVE VIN	YOUR YL ADHESIVE ADCOLOR: JAMBAJUICE@ADCOLORINC.COM, 859.253.1046	
/-5 SEED GRAPHIC [G03] ON EQUIPMENT SCHEDULE	GRAPHICS VENDOR	VINYL		•	CUSTOM IMAGE	REF: ELEVATIONS	LOBBY ABOVE PEGBOARD	DIMENSIONS MUST BE FIELD VERIFIED PRIOR TO FABRICATION; INSURE THE GRAPHIC INSTALL GUIDE FROM GRAPHICS VENDOR IS FOLLOWED TO ENSURE THE WALL SURFACE IS PROPERLY PREPPED TO RECEIVE VIN GRAPHIC.		
-6 FIELD WALL TILE (WHITE)	CREATIVE MATERIALS	GLOBAL 16900			WHITE - GLOSSY	4"x12"	SERVICE AREA	PATTERN RE: 5/A3.2, GROUT: MAPEI, COLOR: 02 PEWTER, NON-SANDED 1/8"	CREATIVE MATERIALS CORPORATION (CMC) JAMBATILE@CREATIVEMATERIALSCORP.COM, 800.207.2967, EXT. JAMB (5262)	
V-7 ACCENT WALL TILE (DARK GREE	EN) CREATIVE MATERIALS	BOON & BEANING			DARK GREEN, GLOSSY	3"x6"	SERVICE AREA	STRAIGHT PATTERN, GROUT: MAPEI, COLOR: 02 PEWTER, NON-SANDED 1/8"	CREATIVE MATERIALS CORPORATION (CMC) JAMBATILE@CREATIVEMATERIALSCORP.COM, 800.207.2967, EXT. JAMB (5262)	
V-8 ACCENT WALL TILE (NAVY)	CREATIVE MATERIALS	BOON & BEANING			NAVY - GLOSSY	3"x6"	SERVICE AREA	STRAIGHT PATTERN, GROUT: MAPEI, COLOR: 02 PEWTER, NON-SANDED 1/8"	CREATIVE MATERIALS CORPORATION (CMC) JAMBATILE@CREATIVEMATERIALSCORP.COM, 800.207.2967, EXT. JAMB (5262)	S
-2 FIXTURE WOOD	WISCONSIN BUILT	TAMBOUR T331-30 DEGREE - 3/4" SLATE MAPLE WITH BACKER			MAPLE VENEER	MILLWORK FIXTURES	CUSTOMER AREA		MIKE ROPER MIKER@WISCONSIN-BUILT OR CINDY LUBAHN CINDYL@WISONSIN-BUILT.COM 608.764.8661 EXT. 3344	-ш
D-3 HICKORY PLANKS	WISCONSIN BUILT	CUSTOM			NATURAL	5" WIDTH, RANDOM LENGTHS (12"-48"), 3/8" THICKNESS	CUSTOMER AREA	PROVIDE FIRE RETARDANT CLEAR COAT OVER WOOD PANELING	MIKE ROPER MIKER@WISCONSIN-BUILT OR CINDY LUBAHN CINDYL@WISONSIN-BUILT.COM 608.764.8661 EXT. 3344	
-4 WOOD VENEER	MILLWORK VENDOR	OAK			STAIN TO MATCH WILSONART BEIGEWOOD		FRONT COUNTERS		MIKE ROPER MIKER@WISCONSIN-BUILT OR CINDY LUBAHN CINDYL@WISONSIN-BUILT.COM 608.764.8661 EXT. 3344	
-1 COPPER SHEET	5 MIL						FRONT COUNTER BASE AND SNEEZE GUARD POSTS	INSTALL ON PLYWOOD SUBSTRATE	MIKE ROPER MIKER@WISCONSIN-BUILT OR CINDY LUBAHN CINDYL@WISONSIN-BUILT.COM 608.764.8661 EXT. 3344	
1 PLASTIC LAMINATE	WILSONART	STANDARD HPL		<del>-                                     </del>	BEIGEWOOD 7850-60 MATTE FINISH	MILLWORK AND TABLE TOPS	MENU BOARD SHROUD	4'X8' SHEET	RICHELLE SIGAFOOS, SIGAFOR@WILSONART.COM 215.219.113	—  <u>H</u> S≥
2 PLASTIC LAMINATE	WILSONART	STANDARD HPL		-	SATIN BRUSHED GOLD ALUMINUM #6258-419		CUSTOMER AREA	CUT TO SIZE IN FIELD. MUST BE A SMOOTH AND LEVEL CUT.	PATTY GOFFE, GOFFEP@WILSONART.COM, 678.296.7271	
-4 PLASTIC LAMINATE (WHITE)	FORMICA	949	<del>                                     </del>	<del>-                                     </del>	WHITE		INTERIOR FINISH IN CABINETS AND			⊢Z Ŏ
, ,	DUPONT CORIAN			<del>-       -  </del>			SHELVING	INCLUDED WITH MILLWORK CADINETS	PURCHASE FROM WISCONSIN BUILT - MIKE ROPER MIKER@WISCONSIN-BUILT OR CHRIS THORKILDSON CHRIST CHRIST@WISONSIN-BU	IILT.COM S
-2 SOLID SURFACE					GLACIER WHITE		COUNTERTOPS	INCLUDED WITH MILLWORK CABINETS	608.764.8661 EXT. 309 (ARCH REP. JERE MCCORKLE, JMCCORKLE@LGHAUSYS.COM, 404.661.3658)	
-1 TRIM: CONCRETE TO TILE	SCHLUTER	RENO-U (1.2)	<del>-  </del>		SATIN ANODIZED ALUMINUM (AEU)	AEU 125	CONCRETE TO TILE FLOOR TRANSITIONS	·	CREATIVE MATERIALS CORPORATION (CMC) JAMBATILE@CREATIVEMATERIALSCORP.COM, 800.207.2967, EXT. JAMB (5262)	
R-2 TRIM: OUTSIDE TILE CORNER	SCHLUTER	INDEC (2.12)			SATIN ANODIZED ALUMINUM (IN)	IN 100 AE	OUTSIDE CORNER OF TILE TO TILE WAL		CREATIVE MATERIALS CORPORATION (CMC) JAMBATILE@CREATIVEMATERIALSCORP.COM, 800.207.2967, EXT. JAMB (5262)	
R-3 TRIM: EXPOSED TILE EDGE	SCHLUTER	SCHIENE (1.1)			SATIN ANODIZED ALUMINUM (AE)	AE 100	EXPOSED ENDS OF TILE WALLS	TYPICAL THROUGHOUT, REF: INTERIOR ELEVATIONS	CREATIVE MATERIALS CORPORATION (CMC) JAMBATILE@CREATIVEMATERIALSCORP.COM, 800.207.2967, EXT. JAMB (5262)	
	JST PROVIDE SAMPLE OF FOR APPROVAL PRIOR TO	NOTE: ALL WOOD AN FIRE RETARDANT, AS CODE, TABLE 3-4 A	PER 196	68 NYC BUIL	_DING					JAM
									GENERAL NOTES	



1 COORDINATE AND VERIFY ALL WALL FINISHES WITH INTERIOR ELEVATIONS AND FINISH SCHEDULE.

INSTALLED FLOOR FINISHES SHALL BE PROTECTED DURING CONSTRUCTION.

2 DAMAGED FLOOR FINISHES SHALL BE REPLACED AT NO ADDITIONAL COST TO FINISH SCHEDULE NOTES GENERAL CONTRACTOR SHALL CORRECT SUBSTRATE WHENEVER GREATER THAN 1/8" GAP OCCURS BETWEEN FINISH MATERIAL AND SUBSTRATE. 2 ALL FLOOR TILES ARE SLIP RESISTANT IN ACCORDANCE WITH ICC/ANSI A117.1-2003, SECTION 302.1 3 ALL WOOD AND WOOD PRODUCTS SHALL BE FIRE RETARDANT HEALTH NOTES 1 ALL CERAMIC WALL TILES IN FOOD—RELATED AREAS MUST BE SMOOTH, EASILY CLEANABLE AND LIGHT IN COLOR.

WALLS AND CEILINGS AT FOOD—RELATED AREAS SHALL BE DURABLE, SMOOTH, NON-ABSORBENT, WASHABLE AND LIGHT COLORED (MINIMUM LIGHT 01.07.22 OWNER REVIEW ISSUE REFLECTANCE VALUE OF 70%) 01.31.22 PERMIT ISSUE PAINT FINISHES IN FOOD PREP/SERVICE/STORAGE AREAS MUST BE SEMI-GLOSS OR EQUIVALENT ⟨Æ⟩ KEY NOTES 1 REFERENCE 3/A3.2 FOR TRANSITION DETAIL GC SHALL INSTALL NOBLESEAL TS WATERPROOFING MEMBRANE THROUGHOUT SPACE, TURNED UP 6" AT ALL WALLS. INSTALL PER MANUFACTURES INSTRUCTIONS.

3 FLOOR SINK, REFER TO PLUMBING. REFERENCE 6/A3.3 FOR COVED BASE DETAIL. TYPICAL THROUGHOUT SERVICE AREA, BACK OF HOUSE AND TOILET ROOM (U.O.N.) 5 MOP SINK, REFER TO 12/A3.3 AND PLUMBING DRAWINGS 6 START POINT OF FLOOR TILE. 7 EXISTING THRESHOLD. REPLACE/REPAIR AS REQUIRED, RE: 4B/A3.3 PREFABRICATED WALK-IN FREEZER. 4" INSULATED INTEGRAL FLOOR WITH 8 1"x36" NON-SLIP TAPE AT 12" O.C. 6" HIGH STAINLESS STEEL BASE WITH 3/8" RADIUS COVE INSIDE AND OUT. 9 FLOOR DRAIN, REFER TO PLUMBING. 10 MILLWORK FIXTURE BY VENDOR INSTALLED ON TOP OF FINISHED FLOOR.
FIXTURE ON LEGS.

11 HUB DRAIN, REFER TO PLUMBING. SHEET TITLE: 12 LINE OF COUNTERTOP ABOVE
13 EXISTING RAMP AND SCHEDULE

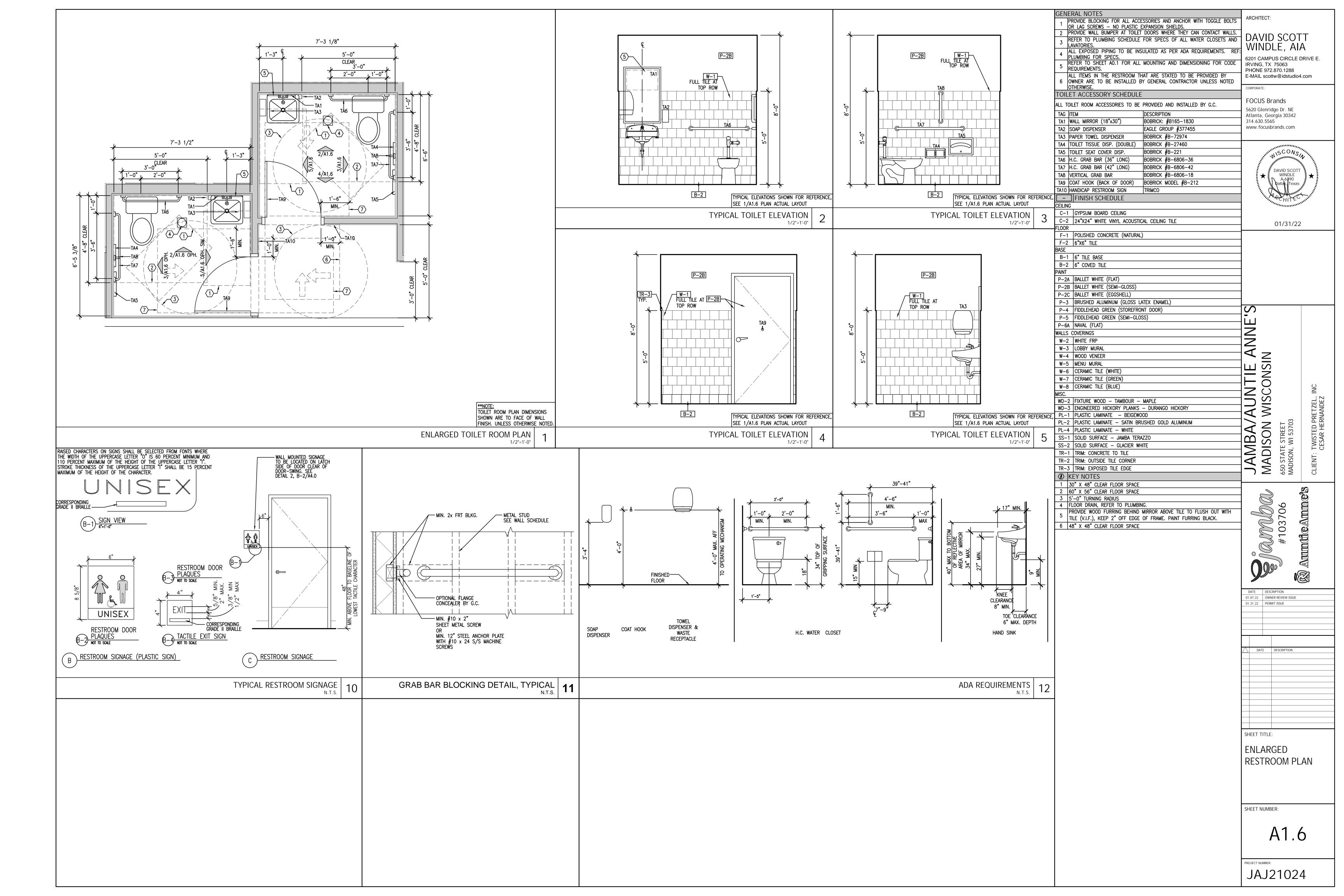
CLIENT: TWISTED PRETZEL, CESAR HERNANDEZ )ammaa #103706 Aumideammes

FINISH PLAN

SHEET NUMBER:

PROJECT NUMBER:

FINISH PLAN
1/4"=1'-0"





(#) KEY NOTES:

NEW SIGNAGE SHOWN FOR <u>REFERENCE ONLY</u>. FINAL SIZE AND LOCATION TO BE DESIGNED BY SIGN VENDOR AND SUBMITTED TO FOCUS BRANDS,

LANDLORD AND CITY UNDER SEPARATE PERMIT. DIMENSIONS SHOW ARE FOR BIDDING PURPOSES ONLY. FINAL DIMENSIONS WILL NEED TO BE VERIFIED IN

EXISTING STOREFRONT DOORS AND GLAZING SYSTEM TO REMAIN. GC TO HAVE GLAZING PROFESSIONALLY CLEANED PRIOR TO TURNOVER, TYPICAL.

EXISTING EXTERIOR FINISHES TO REMAIN, G.C TO PATCH AND REPAINT ANY 3 HOLES OR OLD PATCHES NOT DONE TO BASE BUILDING STANDARD, TYPICAL. COORDINATE WITH LANDLORD.

4 LEASE LINE 5 LINE OF SECOND FLOOR ABOVE, NOT IN SCOPE OF WORK.

G.C. TO PAINT EXISTING DOOR, INTERIOR AND EXTERIOR. COORDINATE PAINT AND PRIMER SPEC. AN INSTILLATION INSTRUCTIONS WITH PAINT MANUFACTURER FOCUS Brands FOR EXISTING DOOR SUBSTRATE (V.I.F.) DOOR ONLY, DON NOT PAINT MULLIONS (U.O.N.)

7 DASHED LINE OF EXISTING METAL AWNING TO BE RECOVERED TO BRAND STANDARDS BY APPROVED SIGN VENDOR.

5620 Glenridge Dr. NE Atlanta, Georgia 30342 314.630.5565

www.focusbrands.com

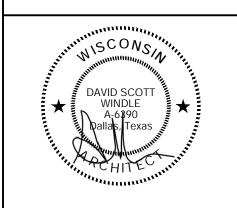
CORPORATE:

ARCHITECT:

DAVID SCOTT WINDLE, AIA

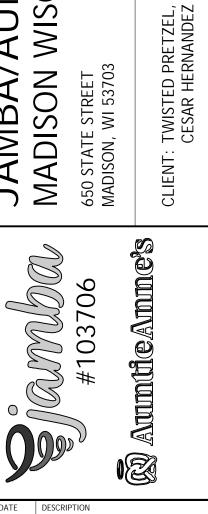
6201 CAMPUS CIRCLE DRIVE E. IRVING, TX 75063

PHONE 972.870.1288 E-MAIL scottw@idstudio4.com



01/31/22

JAMBA/AUNTIE ANNE'S
MADISON WISCONSIN
650 STATE STREET
MADISON, WI 53703



DATE DESCRIPTION
01.07.22 OWNER REVIEW ISSUE
01.31.22 PERMIT ISSUE

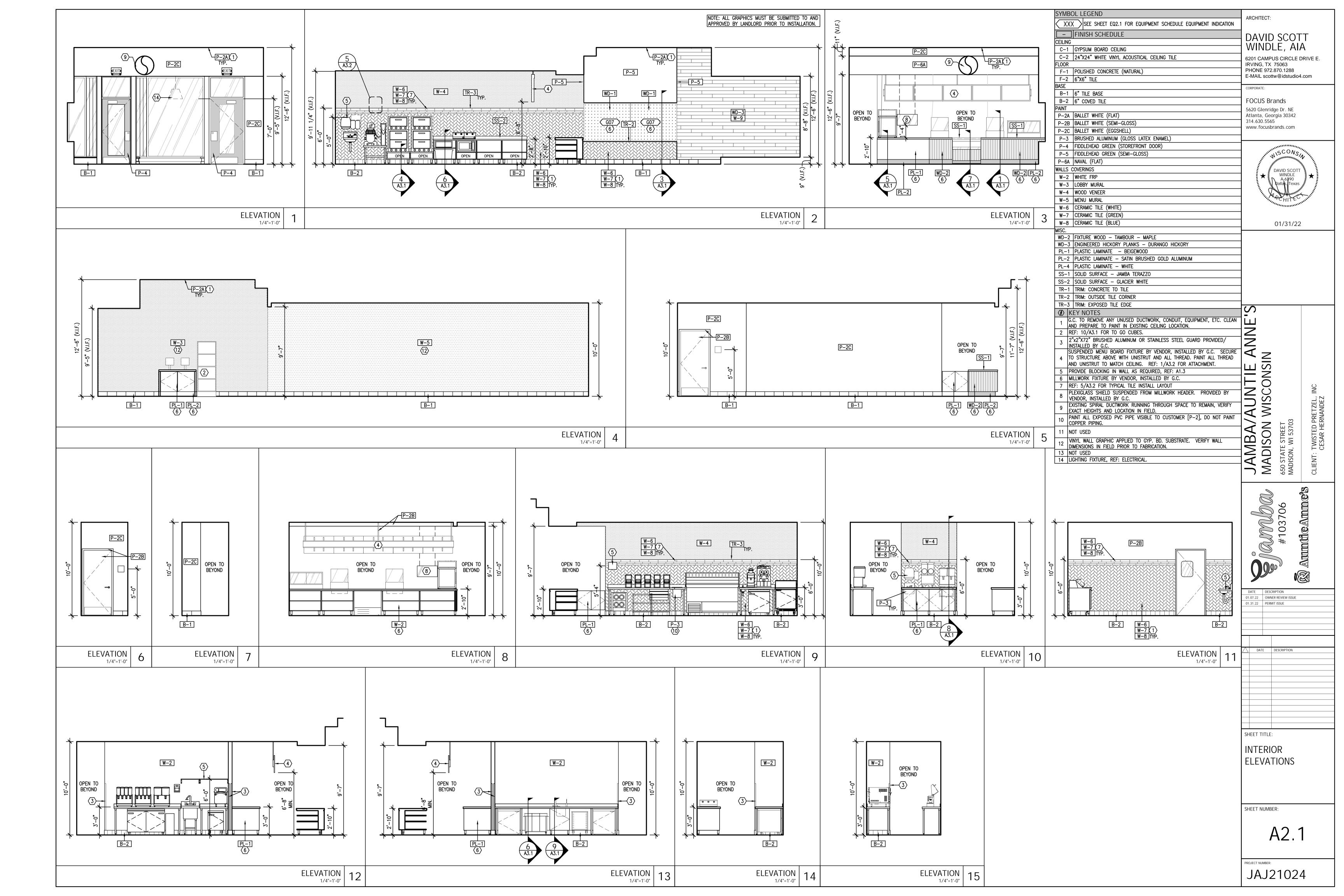
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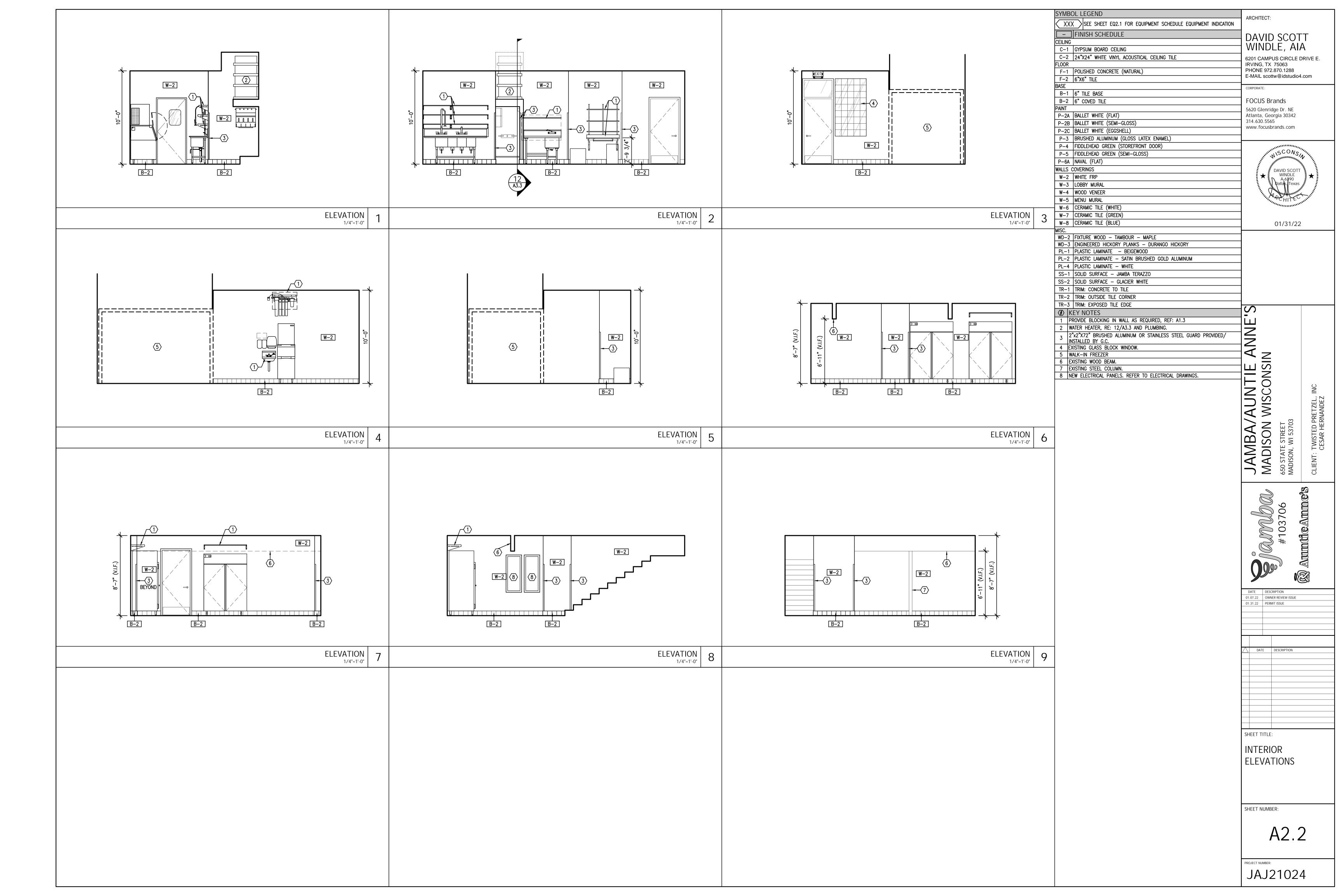
EXTERIOR ELEVATIONS

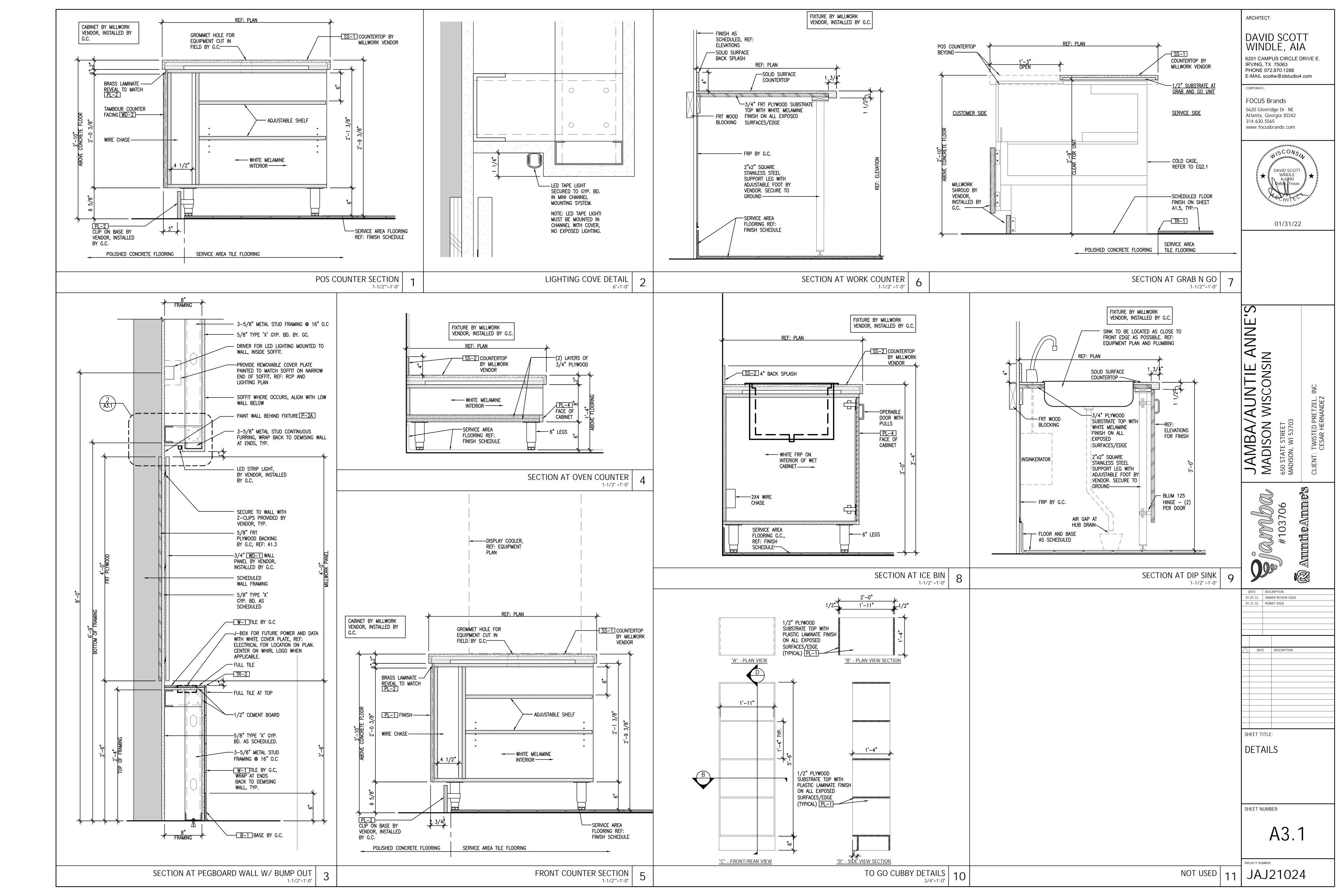
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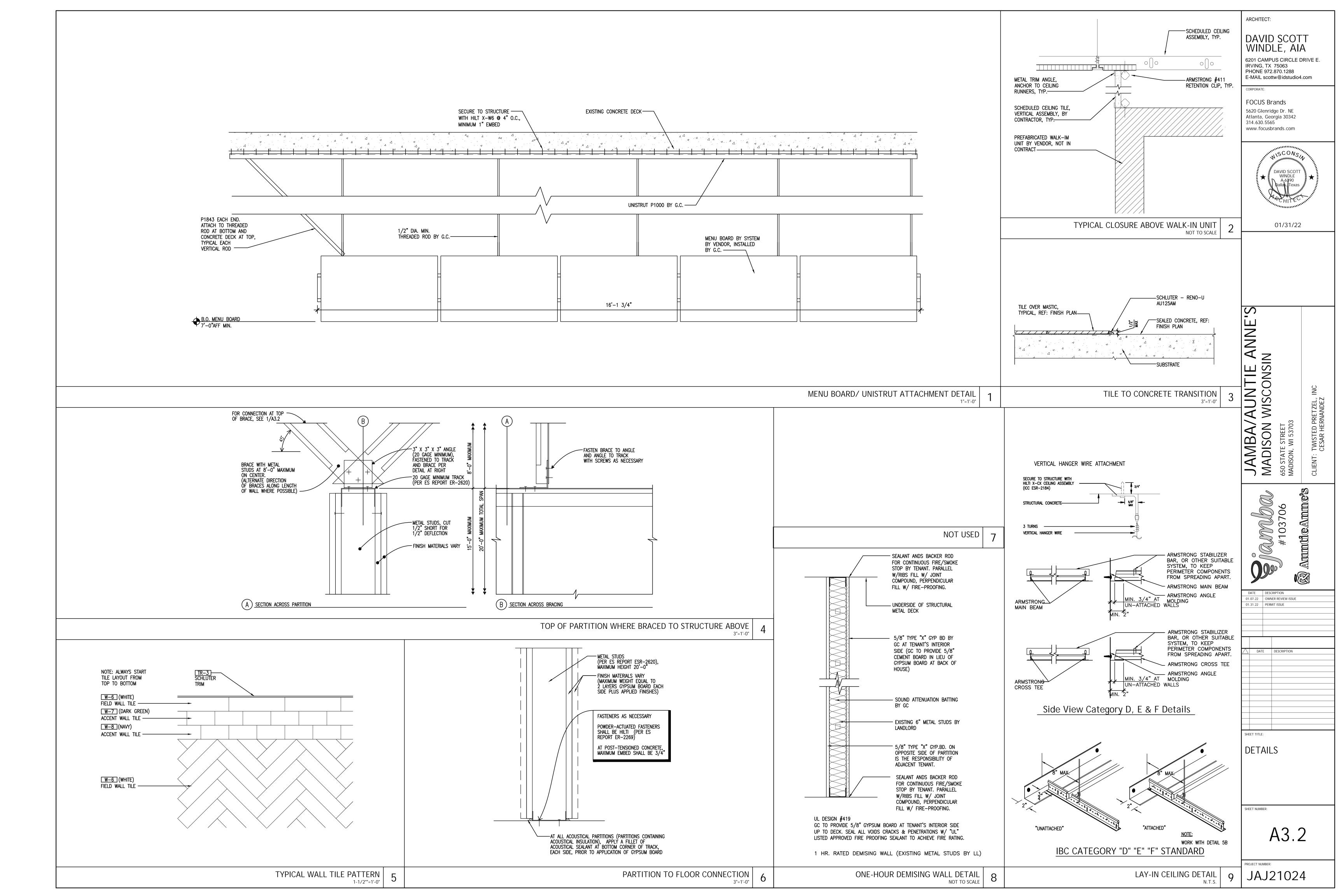
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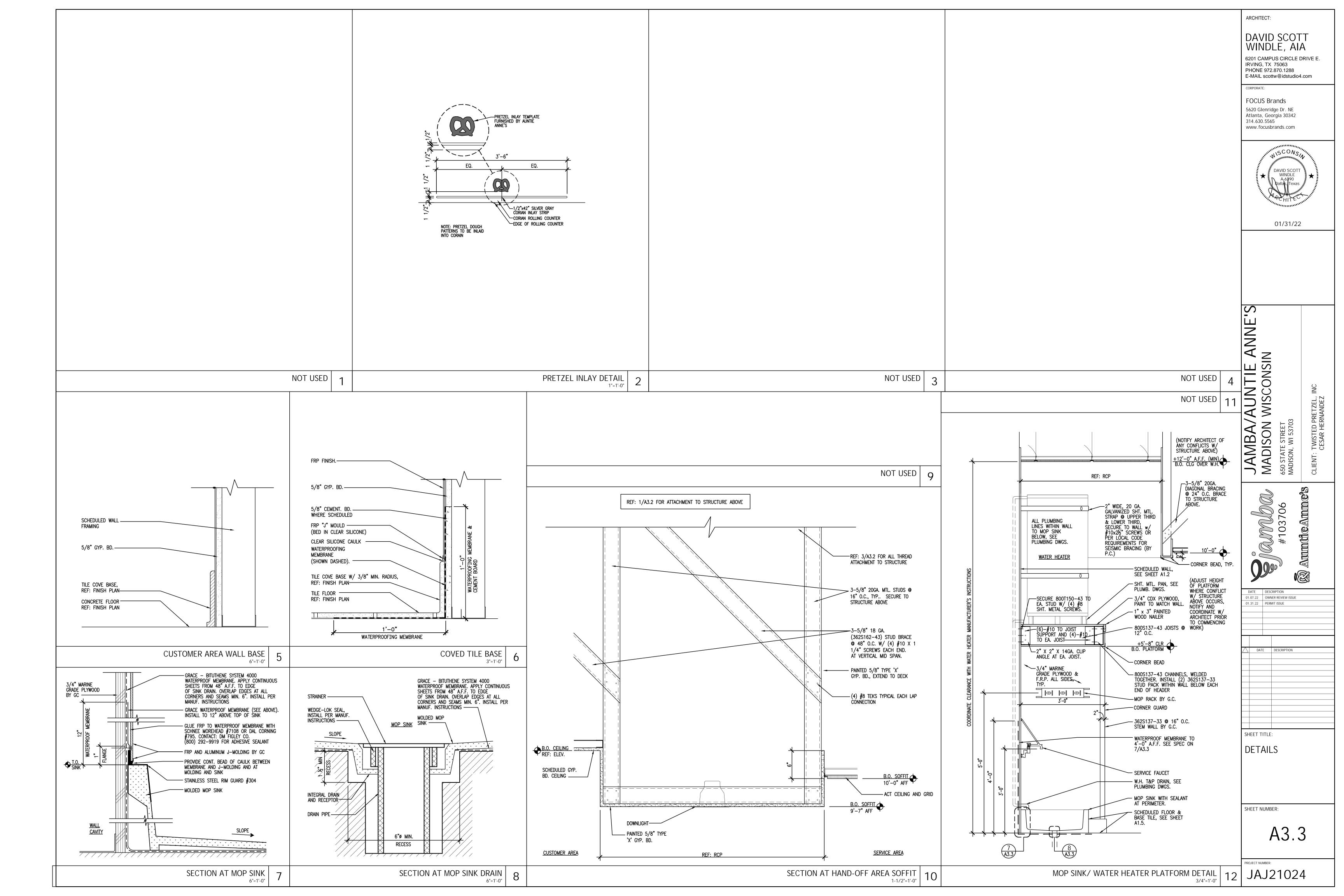
PROJECT NUMBER:











DOOR SCHEE	DULE																GENER
				DOOR		FRAME			HARDWARE WEATHERST			WEATHERSTRIP		1 HARI			
DOOR NUMBER	DESCRIPTION	SIZE	MATERIAL	TYPE	FINISH	MATERIAL FINISH	HEAD	JAMB	SILL	FIRE RATING	BUTTS	LOCKSET	CLOSER	PUSH/PULL BARS	THRESHOLD	MISC.	REMARKS C C C STAN
01	STOREFRONT ENTRY (EXISTING)	EXISTING	ALUMINUM	-	ANODIZED ALUMINUM							FACTORY					(E) LOCK CORES TO BE REPLACED W/ KEYMARK CORES BY G.C., GC SHALL VERIFY PROPER WORKING ORDER. REPAIR AS REQUIRED TO BRING DOOR TO LIKE NEW CONDITION. VERIFY LANDLORD APPROVAL PRIOR TO PAINTING DOOR IF APPLICABLE.
02	STOREFRONT ENTRY (EXISTING)	EXISTING	ALUMINUM	-	ANODIZED ALUMINUM							FACTORY					(E) LOCK CORES TO BE REPLACED W/ KEYMARK CORES BY G.C., GC SHALL VERIFY PROPER WORKING ORDER. REPAIR AS REQUIRED TO BRING DOOR TO LIKE NEW CONDITION. VERIFY LANDLORD APPROVAL PRIOR TO PAINTING DOOR IF APPLICABLE.
03	SERVICE	3'-0" X 7'-0"	ALUMINUM	D	WHITE	HOLLOW METAL MATCH WALL FINISH	2A/A3.3	2B/A3.3									ELIASON DOOR MODEL: PE-500, FINISH: WHITE WITH 15"X20" VISION PANEL.  6 (E) BY
04	TOILET ROOM - MENS	3'-0" X 7'-0"	WOOD	В	REF: ELEVATIONS	HOLLOW METAL REF: ELEVATIONS	1A/A3.3	1B/A3.3			B1	L2	C1			M1	UNDERCUT DOOR 1". COORDINATE WITH OWNER'S FIELD REPRESENTATIVE. PROVIDE STAINLESS KICK PLATE ON EACH SIDE PER 7 PROVIDE TO TOOR TYPES" ELEVATIONS.
05	TOILET ROOM - WOMENS	3'-0" X 7'-0"	WOOD	В	REF: ELEVATIONS	HOLLOW METAL REF: ELEVATIONS	1A/A3.3	1B/A3.3			B1	L2	C1			M1	UNDERCUT DOOR 1". COORDINATE WITH OWNER'S FIELD REPRESENTATIVE. PROVIDE STAINLESS KICK PLATE ON EACH SIDE PER "DOOR TYPES" ELEVATIONS.
06	BASEMENT (EXISTING)	EXISTING	WOOD	_	REF: ELEVATIONS	HOLLOW METAL REF: ELEVATIONS										M1	(E) LOCK CORES TO BE REPLACED W/ KEYMARK CORES BY G.C., GC SHALL VERIFY PROPER WORKING ORDER. REPAIR AS REQUIRED TO BRING DOOR TO LIKE NEW CONDITION. VERIFY LANDLORD APPROVAL PRIOR TO PAINTING DOOR IF APPLICABLE.
07	BACK AREA (EXISTING)	EXISTING	ALUMINUM	_	WHITE	HOLLOW METAL MATCH WALL FINISH	2A/A3.3	2B/A3.3									(E) LOCK CORES TO BE REPLACED W/ KEYMARK CORES BY G.C., GC SHALL VERIFY PROPER WORKING ORDER. REPAIR AS REQUIRED TO BRING DOOR TO LIKE NEW CONDITION. VERIFY LANDLORD APPROVAL PRIOR TO PAINTING DOOR IF APPLICABLE.

NERAL NOTES HARDWARE FINISHES SHALL BE SATIN CHROME US26D, UNLESS NOTED OTHERWISE STAMP "DO NOT DUPLICATE" ON ALL KEYS
ALL LOCKSETS AND LATCH SETS SHALL BE LEVER HANDLES ALL STOREFRONT ENTRANCE DOORS SHALL BE PROVIDED

WITH PIVOTS BY DOOR MANUFACTURER UNLESS NOTED

OTHERWISE

MAXIMUM PULL FORCES FOR INTERIOR AND EXTERIOR DOORS SHALL BE:
INTERIOR DOORS = 5.0 LBS. FORCE EXTERIOR DOORS = 5.0 LBS. FORCE

(E) HARDWARE TO BE EQUAL TO JAMBA JUICE SPECIFICATION OR REPLACED

6201 CAMPUS CIRCLE DRIVE IN IRVING, TX 75063
PHONE 972.870.1288

E-MAIL scottw@idstudio4.com BY G.C. TO JAMBA JUICE SPECIFICATION.

PROVIDE ANY MISSING/ DAMAGED HARDWARE ON EXISTING TO REMAIN DOORS
PER DOOR SCHEDULE.

**FOCUS Brands** 5620 Glenridge Dr. NE

ARCHITECT:

Atlanta, Georgia 30342 314.630.5565 www.focusbrands.com

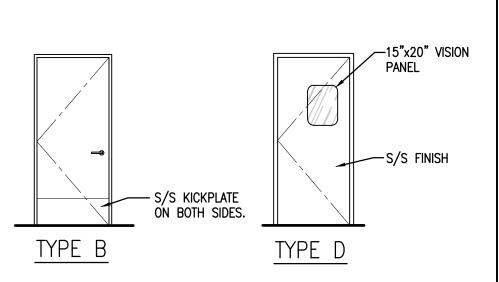
DAVID SCOTT WINDLE, AIA

6201 CAMPUS CIRCLE DRIVE E.



01/31/22

	LOCKSET	CLOSER	PUSH/PULL BARS	WEATHERSTRIP/THRESHOLDS	MISC
		C1 NORTON 1601BFxAL	PP1 TRIMCO 1738 - 12" CTC	W1 PEMKO S88W	M1 DOORSTOP - IVES FS441
	L2 SCHLAGE S10D NEPTUNE W/ B571 DOOR BOLT L7 - ADAMS RITE DEADLOCK - MS1850S	C2 LCN OVERHEAD CONCEALED CLOSER: 2030	PULL BAR TO MATCH BUILDING OR SHOPPING CENTER STANDARD. WHERE STANDARD IS NOT	W2 PEMKO 345PWV	M2 DUSTPROOF STRIKE - TRIMCO 3911
	L3 SCHLAGE S70PD NEPTUNE - ADAMS RITE HEADER BOLT - 4085x25-0071 - ADAMS RITE THRESHOLD BOLT - 4015	ALL OVERHEAD CLOSERS TO BE MOUNTED ON	APPLICABLE OR AVAILABLE, PROVIDE ONE OF THE FOLLOWING UPON APPROVAL BY ARCHITECT:	T1 PEMKO 3 X 700 ALUM 72" MS & ES	M3 DOOR VIEWER - IVES U696
ſ	L4 SIMPLEX LR/LL 1021S-26D SINGLE ENTRY STOREFRONT LOCK	INTERIOR SIDE OF DOOR — NO THRU BOLTS	ROCKWOOD RM201-12" OR   STORE FRONT MANUFACTURERS STANDARD PULL WHICH MATCHES ROCKWOOD RM201-12"	T2   PEMKO 3 X 700 ALUM 36" MS & ES	
$\dashv$	L5 IVES ROLLER LATCH RL32-F L8 - ADAMS RITE DEADLOCK - MS1850S		PP3 IVES 8102-8	APPROVED EQUALS BY RIXON MAY BE SUPPLIED	_
-	LOCK CORES TO BE KEYMARK CORES — KEYMARK				



DOOR TYPES
1/4"=1'-0"

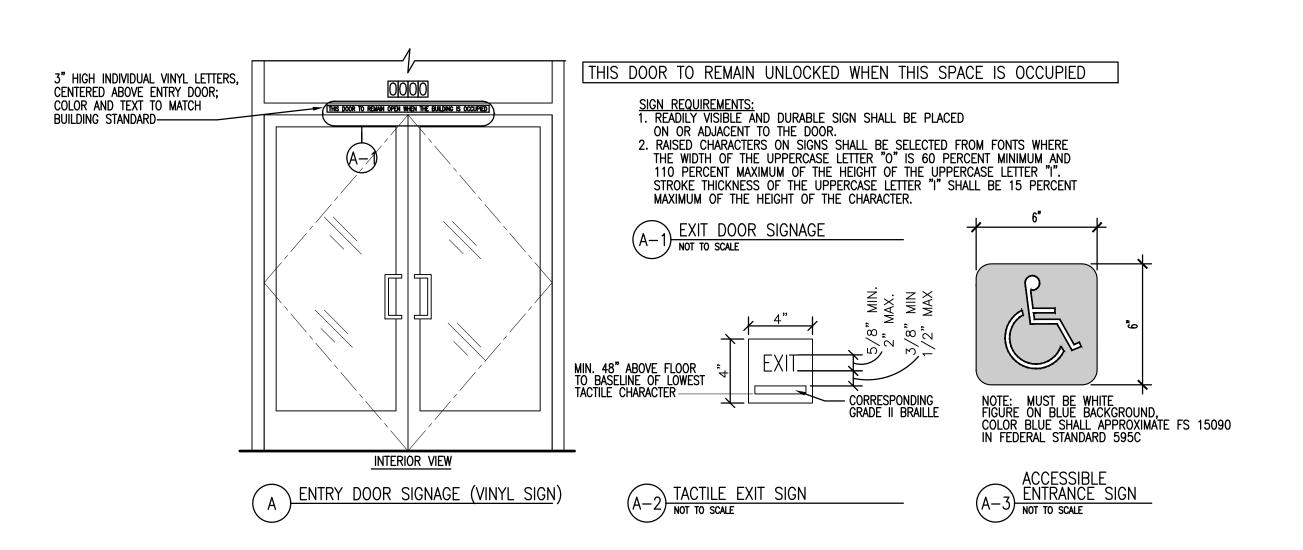
HARDWARE NOTES

B2 HAGER BB1191 NRP B3 PEMKO CSPFM83SLF

STANLEY WORKS MAY BE SUPPLIED

EQUIVALENT ITEMS OF LAWRENCE, MCKINNEY SALES CO, OR

B1 HAGER BB1279



AMBA/AUNTIE ANNE'
ADISON WISCONSIN : TWISTED PRETZEL, I CESAR HERNANDEZ MAD MAD

DOOR SIGNAGE
1/2"=1'-0"

DATE DESCRIPTION
01.07.22 OWNER REVIEW ISSUE SHEET TITLE:

DOOR SCHEDULE

SHEET NUMBER:

A4.0

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TABLE OF CONTENTS
    Section 00120 - Supplementary Instructions to Bidders
    Section 00300 - Bid Form
     Section 00430 - Unit Prices
    Section 00700 - General Conditions
    Section 00800 - Supplementary General Conditions
    Section 01110 - Work Covered by Contract Documents
    Section 01300 - Administrative Requirements
    Section 01320 - Change Order Procedures
    Section 01400 - Quality Requirements
    Section 01500 - Temporary Facilities and Controls
    Section 01600 - Product Requirements
    Section 01700 - Execution Requirements
    Section 01780 - Closeout Submittals
  <u>Provision 2 - Sitework</u>
*Refer to Civil Documents for balance of Site Construction Specifications
    Section 02505 - Concrete Paving, Walks, Curbs and Gutters
    Section 02580 - Pavement Marking
    Section 02854 - Parking Bumpers (Wheel Stops)
  <u>Division 3 - Concrete</u>
Section 03300 - Cast in Place Concrete
    Section 03340 - Self-leveling Underlayment
    Section 03530 - Polished Concrete Floor System (HTC Superfloor)
   <u>Division 5 - Metals</u>
<u>Section 05500 - Metal Fabrications</u>
   <u>Division 6 - Wood and Plastics</u>
<u>Section 06100 - Rough Carpentry (Blocking, Etc.)</u>
    Section 06200 - Finish Carpentry
    Section 06410 - Custom Cabinets
    Section 06610 - Quartz Surfacing
   Division 7 - Thermal and Moisture Protectio
Section 07212 - Board and Batt Insulation
    Section 07532 - Roofing System Repair
    Section 07620 - Sheet Metal Flashing and Trim
    Section 07900 - Joint Sealers
   <u>Division 8 - Doors and Windows</u>
<u>Section 08110 - Steel Doors and Frames</u>
    Section 08211 - Flush Wood Doors
    Section 08214 - Metal Faced Flush Wood Door (Eliason)
    Section 08306 - Access Panels
    Section 08410 - Aluminum Entrances and Storefronts
    Section 08582 - Pass-Thru Window
    Section 08710 - Door Hardware
    Section 08800 - Glazing
   <u>Division 9 - Finishes</u>
<u>Section 09111 - Metal Stud Framing System</u>
   Section 09260 - Gypsum Board Assemblies
    Section 09300 - Tile
    Section 09511 - Suspended Acoustical Ceilings
    Section 09729 - Mural Installation
    Section 09771 - Prefinished Panels
    Section 09900 - Paints and Coatings
    Section 10442 - Architectural Signage
    Section 10523 - Fire Extinguishers, Cabinets and Accessories
    Section 10733 - Canvas Awning
    Section 10800 - Toilet Accessories
  <u>Division 11 - Equipment</u>
Section 11400 - Food Service Equipment (Installation)
   Division 13 - Special Construction
Not Used
   Division 14 - Conveying Systems
Not Used
   Division 15 - Mechanical Systems
Section 15100 - General Mechanical Requirements
    Section 15400 - Plumbing
    Section 15550 - Sprinkler System
     Section 15700 - Heating, Ventilating and Air Conditioning
   <u>Division 16 - Electrical Systems</u>
<u>Section 16050 - Basic Methods and Requirements</u>
   Section 16110 - Raceways
    Section 16120 - Wires and Cables
    Section 16135 - Electrical Boxes and Fittings
    Section 16142 - Electrical Connections for Equipment
    Section 16143 - Wiring Devices
    Section 16150 - Motor Controllers and Contactors
    Section 16170 - Circuit and Motor Disconnects
    Section 16180 - Overcurrent Protective Devises
    Section 16190 - Supporting Devices
    Section 16195 - Electrical Identification
    Section 16445 - Panelboards, Distribution and Branch Circuit
    Section 16450 - Grounding
    Section 16510 - Interior Building Lighting
    Section 16721 - Fire Alarm and Smoke Detection Systems
    vision 0 - Contract and Bid Informat
ection 00100 - Instructions to Bidder
 1. AlA Document A701, latest Edition, Instructions to Bidders" are included as part of these specifications as if herein reprinted in full.
a. A copy of AlA A701, latest edition may be obtained from Owner, Architect, or directly from:
The American Institute of Architects
1735 New York Avenue,
N.W. Washington, D.C. 20006.
  2. Contractor shall utilize the following documents, latest edition, in the negotiation and execution of
    the project:
a. AIA Document A701
b. AIA Document G702
c. AIA Document G703

    Application and Certificate for Payment
    Continuation Sheet
    Change Order
    Certificates of Insurance

       . AlA Document
    e. AlA Document 6705
  f. AlA Document G706 — Contractor's Affidavit of Payment of Debts and Claims g. AlA Document A706 — Contractor's Affidavit of Release of Liens h. AlA Document A201 — General Conditions of the Contract for Construction i. AlA Document A107 — Standard Abbreviated Owner—Contractor Agreement Form
    ection 00120 - Supplementary Instructions To Bidders
The following supplements modify, change, delete from, or add to the instructions to Bidders (AIA A701, latest Edition) Where any article of the instruction to Bidders is modified or any paragraph, sub—paragraph, or clause thereof is modified or deleted by these Supplemental Instructions the unaltered provisions of the article, paragraph, sub—paragraph, or clause shall remain in effect.
  . Article 1, Paragraph 1.8; add:
Bidding is by invitation from the Owner, only.
  2. Article 3, Paragraph 3.1.1 delete and insert the following
        Owner will provide each invited Bidder a complete set of electronic files (.pdf format) of the Bidding Documents. Bidding contractor will be responsible for printing and distribution.
                                                                                                                                                               A. Contract Type: A single prime contract based on a Stipulated Price as provided By Owner in Bid Package

    Article 4, Paragraph 4.1.1 delete and insert the following:
4.1.1 Bids shall be submitted on forms Identical to the Bid Form provided by the Owner, one

         (1) original with original signature(s). Bids transmitted via facsimile or e—mail; provided they are received by the prescribed deadline, are acceptable. Originals shall be sent by overnight service for next day delivery.
                                                                                                                                                                   . <u>Not In Contract (NIC):</u> Items shown or noted "(NIC)" on the drawings and/or in the specifications shall be furnished and installed by Owner under separate contract, except as described hereinafter. The Contractor shall receive, unload as required, store, coordinate and
 4. Article 4, Paragraph 4.2:
Delete this paragraph in its entirety, as no bid security will be required
                                                                                                                                                                    accommodate the Owner's contractors during the Work and be responsible to the extent of carrying necessary insurance to cover items in case of theft, fire, loss, malicious damage and other miscellaneous damage. Contractor shall provide all conduits, boxes, chases, etc. as indicated on the drawings for a complete installation. Included, but not inclusive, in this
5. Article 4, Paragraph 4.4.1:
The stipulated time period shall be construed as 90 calendar days.
6. Article 6, Paragraph 6.2:
Delete this paragraph in its entirety.
                                                                                                                                                                         1. Illuminated Sign Package: Contractor shall be responsible for supplying individual electrica
```

JAMBA - Specification Masters

7. Article 7, Paragraph 7.1.1;

ection 00300 - Bid Form

ection 0043<u>0 - Unit Prices</u>

Bond requirement will be an option reserved by the Owner.

The form of proposal will be furnished separately by the Owner.

preparation, priming and filling as specified.
2. Unit Measure: Per square foot to a depth of ¼ inch.
C. Unit—Price No. 2: Tile Floor Crack Isolation Membrane.

2. Unit Measure: Per square foot.

8. Article 7, paragraph 7.2.2:
Delete unless otherwise provided, and substitute unless otherwise acceptable to the Owner.

1. UNIT PRICES

A. Unit Prices will be exercised at the option of the Owner. Prices stated for each Unit Price shall be valid for the duration of the contract and shall include all cost including Overhead and Profit.

B. Unit-Price No. 1: Leveling of Existing Floor Slab

1. State the price for leveling and filling existing exposed floor substrate to specified tolerances, in accordance with Section 0.3340 — Self Leveling Underlayment. Price shall include labor, materials and equipment necessary to recondition the floor including

State the price for providing crack isolation membrane as specified in Section 09300 -

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ection 00700 - General Conditions
1. AIA Document A201, Latest Edition, "General Conditions of the Contract for Construction" are included as part of these specifications same as if herein reprinted in full.

a. A copy of AIA A201, may be obtained from Owner; Architect, or directly from:

The American Institute of Architects
           1735 New York Avenue, N.W.
Washington, D.C. 20006.
     ection 00800 - Supplementary Conditions
The following supplements, modify, change, delete from, or add to General Conditions (AIA A201), Where any article of the General Conditions is modified or any paragraph, sub—paragraph, or clause thereof is modified or deleted by these Supplemental Instructions, the unaltered provisions of the
article, paragraph, sub-paragraph, or clause shall remain in effect.
            Article 7, Paragraph 7.3.6 is further clarified as follows:
   When the Owner authorizes the Contractor to perform changes or additions involving extra labor and material, and if the Contractor is directed to proceed on the basis of the actual cost of labor and
    material by Change Order, the following allowances will be allowed for Overhead (including Bond and Insurances) & Profit:
         (1) For the Contractor: To be noted in the General Contractor's Bid submittal.
         (2)Extra work covered by unit prices as requested in the Bid Form, include Contractors overhead
          (3)Superintendents time shall not be included in T & M extra work.
     2. Article 8, add Paragraph 8.3.4:
   8.3.4 The Contractor shall have no claim for an extension of time unless such time is stated on the face of a written Change Order and approved and accepted in writing by the Owner on such Change Order. Any attempted reservation by the Contractor or the right to subsequently claim any extension of time not stated on the face of a written Change Order approved and accepted by the Owner shall be null and void.
     Article 9, Paragraph 9.3.1; add the following:
        Payment requests must be received by the Owner no later than the 26th day of each month, and must be accompanied by a lien waiver in full for each participating contractor, subcontractor and supplier seeking payment. Owner will not be required to make any payment without the
    . Article 9, Paragraph 9.6.1: Delete and substitute:
   9.6.1 Upon receipt of Contractor's Application for Payment, Owner will make such payment to the Contractor within 30 days or as soon as practical thereafter.
    . Article 9, add Paragraphs 9.10.6 and 9.10.7:
    9.10.6 Before Owner issues final payment hereunder, the Contractor shall submit to the Owner
           (a)an affidavit that all payroll and bills for material and equipment, and, other indebtedness connected with the work for which the Owner or its property might in any way be respons
           have been paid or otherwise satisfied, (b) the consent of surety to final payment and (c) if required by the Owner, other data establishing payment or satisfaction of all such obligations, such as receipts, releases and waivers of liens arising out of the Contract Documents, to the
           extent and in such form as may be designated by the Owner. If any Subcontractor and/or Material man refuses to furnish a release or waiver required by the Owner, the Contractor may furnish a bond, at its expense, satisfactory to the Owner to indemnify the Owner against such lien. If any such lien remains unsatisfied after all payments are made, the Contractor shall refund to the Owner all monies that the Owner may be compelled to pay in discharging such lien including without limitation all costs and responsible atternation for the contractor and responsible atternation for the contractor and former may be compelled to pay in discharging such
            lien, including, without limitation, all costs and reasonable attorneys' fees.
   9.10.7 All waivers and subordination agreements required hereunder shall be in the form acceptable to the Owner.
  5. Article11, delete first paragraph of 11.1.1 beginning with The Contractor ending with be liable and substitute the following:
    11.1.1 Prior to the commencement of the Work, Contractor shall procure, and Contractor shall maintain, all insurance required under this Paragraph 11.1.1. Contractor shall require each Subcontractor to provide coverage adequate to protect Subcontractor and its employees. If the
         terms of coverage of such policies are unacceptable to Owner, Contractor and/or subcontractor shall revise the coverage or obtain additional coverage as reasonably requested by Owner. Owner's approval of Contractor's and any Subcontractor's insurance shall not relieve or limit their liability under the Contract Documents. In the event of the failure of Contractor to furnish and maintain such insurance, then the Owner shall have the right, but not the obligation, to take out and maintain such insurance for and in the name of Contractor and Contractor shall becomes the cost thereof and furnish and
           pay the cost thereof and furnish all necessary information to permit the Owner to take out an
maintain such insurance for the account of Contractor. Contractor shall not allow any
             Subcontractor to commence work on its subcontract until all insurances required of
             Subcontractor have been obtained. Contractor shall purchase and maintain such insurance as wi
           protect it from claims set forth below which may arise out of or result from Contractors operations under the Contract Documents, whether such operations be by Contractor or by
           Subcontractor or by anyone directly or indirectly employed by any of them, or by anyone for whose acts any of them may be liable.
     Article 11; delete paragraph 11.1.2 and substitute the following:
   11.1.2 The liability insurance purchased and maintained by Contractor pursuant to this paragraph and 11.1.1 shall include the types and be in the minimum amounts as follows:
                       (i) Workers' or workman's compensation — maximum permitted by statue, unlimited if permitted. The policy shall contain a Waiver of Subrogation in favor of Landlord
                       (ii) Employer's Liability — $1 million.
        (b) Comprehensive General Liability
Bodily injury and property damage having a combined single limit of $2 Million and including
            the following coverage's:
                       (i) Comprehensive Form
                             Premises — Operations
                            i) Explosion and Collapse Hazard
                            Underground Hazard
                          v) Products — Completed Operations. Hazard (which must be maintained for 2 years
                           commencing with issuances of the final Certificate of Payment)
                                Broad Form Contractual Insurance
                                  Broad Form Property Damage (extended to apply to completed operations)
                                  Independent Contractors

    (ix) Personal Injury (with employees and contractual exclusions deleted)
    (c) Automobile Liability (Comprehensive Form) insuring contractor for operations of all owned, hired, and non-owned vehicle limit of $2 Million.

        (d) Umbrella Excess Liability: $2 Million per occurrence / aggregate.
    . Article 11, paragraph 11.3:
        Delete all references to Owner furnished property insurance.
       The Owner shall furnish Builders Risk Insurance, including the perils of fire, extended coverage, vandalism, and malicious mischief in an amount of not less than 100% of the insurable value of all the work, and the coverage written on Builders Risk Coverage Form CP0020, including Causes of Loss Basic Form CP1010 or Causes of Loss — Broad Form CP1020 or Causes of Loss — Special Form CP1030 or an acceptable inland Marine All Risk installation floater form, with a
          company authorized to do business in the state in which the project is located.
    . Article 12, add paragraph 12.2.2.1(a):
    12.2.2.1(a) If during the Contractors one (1) year warranty after completion the Owner requests that tests be performed to determine if corrections in the Work need to be made, the expense
            of such tests shall be borne by (a) the Owner, if the results of the tests indicate that no corrections are necessary, or (b) the Contractor, if the results of the test indicate that
              corrections are necessary
 10. Article 13, paragraph 13.6.1:
     13.6.1 Interest rate shall be ten percent (10%).
     vision 01 - General Requirements
ection 01100 - Summary of Work
     PROJECT
A. Project Name: Jamba Juice — J9 Prototype.
     B. Owner's Name: Focus Brands.
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5. Telephones: Owner's agent will supply and install permanent telephone and jacks. Contractor shall supply and install junction boxes with pull strings per plans for said

6. Furnishings and decor shown on architectural drawings including, but not limited to, stools, chairs, booths, tables and decor. Note: All millwork items shown on architectural drawings including, but not limited to, cabinets, shelving and vanities shall be the responsibility of the Contractor. Contractor shall submit shop drawings of same for

7. Water Softener: Contractor shall install and plumb all soft water lines and stub—out for

installation and coordinate with Owner's agent.

unit hook-up.

Safe in Office. Coat Hooks. File Cabinet. Lockers. k. Workmanship: OWNER OCCUPANCY E. Mechanical and Electrical Systems: . MISCELLANEOUS PROVISIONS A. Accessibility Compliance: Full compliance with Uniform Federal Accessibility Standards (UFAS), and Americans with Disabilities Act (ADA), prohibiting discrimination on basis of disability by public accommodations, is required for Work of this Project.
 This Project has been designed to and requires full compliance with ADA regulations, whether or not specific references or notes to regulations are made on Drawings or in Specifications. A. Unless noted otherwise, all work in these drawings and specifications shall be performed by the B. The Contractor shall field verify all conditions and dimensions prior to any work and shall be responsible for all work and materials including those furnished by subcontractors. Contractor shall accept premises as found, Owner assumes no responsibility for the condition of the existing site or existing structures at the time of bidding or thereafter. C. The Contractor is responsible for correcting any errors after the start of construction which has not been brought to the attention of the architect. The means of correcting any error shall first be approved by the Architect and Owner.

D. Dimensions take precedence over drawings. DO NOT SCALE DRAWINGS TO DETERMINE ANY LOCATIONS. The architect shall be notified if any discrepancy occurs prior to continuing with All plan dimensions are from face of stud or face of masonry unless noted otherwise. The Contractor shall report to the Owner and Architect any errors, inconsistencies, or omissions All construction shall comply with the applicable building codes and local restrictions. The Contractor must comply with the Contractor registration requirements of all governing authorities. The general building permits shall be paid for by the Owner. All other permits shall be secured stub-ups at each site sign and/or each wall sign as required per plans and make final connection. and paid for by the subcontractor directly responsible. All required city, county, and/or state licenses shall be acquired and paid for by the individual subcontractor. 2. Music, Intercom and A/V Systems: Contractor shall supply electrical service and wire chases with pull strings per plans and coordinate installation with Owner's agent. Contractor to provide adequate wood backing to install all necessary equipment. It shall be the responsibility of the Contractor to locate all existing utilities whether shown herein or not and to protect them from damage. The Contractor shall bear all expense of repair or replacement of utilities or other property damaged by operations in conjunction with the prosecution of the work. 3. Point of Sale and Back Office Systems: All system equipment shall be provided by Owner, including computer cable. All equipment shall be installed by Owner's agent. All cable and wiring shall be installed in conduit installed by General Contractor as per plans. Contractor to provide 4 hours of carpentry and 4 hours of electrician labor on installation day for any changes that may arise. The Contractor shall be responsible for and shall replace or remedy any faulty, improper, or inferior materials or workmanship which shall appear within one year or as otherwise specified for a specific component after the completion and acceptance of the wok under this contract K. The Contractor is to provide blocking as required for mounting of booth tables, wall mounted shelves, cabinets, HC grab bars and partition braces, in addition to other requirements specifie 4. Security System: Contractor shall supply electrical service and wire chases with pull strings per plans and coordinate installation with Owner's agent. Contractor to provide adequate wood backing to install all necessary equipment.

CONTRACTOR USE OF SITE AND PREMISES

B. Utility Outages and Shutdown:

A. Provide access to and from site as required by law and by Owner:

1. Emergency Building Exits During Construction: Keep all exits required by code open during construction period; provide temporary exit signs if exit routes are temporarily altered.

Do not obstruct roadways, sidewalks, or other public ways without permit.

Prevent accidental disruption of utility services to other facilities

By Owner: Items shown or noted "By Owner" on the drawings and/or in the specifications shall be furnished by Owner to Contractor/subcontractor for installation by Contractor/subcontractor as part of the construction contract. Contractor shall coordinate delivery, furnish all labor, material, equipment, and tools required to receive, unload, store, protect, move from storage, uncrate, assemble, install, and level these items and shall carry necessary insurance to cover items in case of theft, fire, loss, malicious damage and other miscellaneous damage. Included, but not inclusive, in this category are: A. The Contractor shall complete all Work as provided for in Contract Documents including Drawings and Specifications. Anything mentioned in the Specifications and not shown on the Drawings, or shown on the Drawings and not mentioned in the Project Manual, shall be furnished and installed as if shown and mentioned in both. The Contractor shall furnish all materials or labor required to complete Work shown on the Drawings and called out in the Project Manual, to include labor and material requirements reasonably interable therefrom as being necessary to complete the work, whether each and every single item necessary to completion is specified or detailed or not. Food Service Equipment: a. Owner shall furnish food service equipment shown on food service drawings including, but not limited to the following: 2. CONTRACTOR RESPONSIBILITY FOR WORK REQUIRED

A. The organization of the Specifications into Divisions, Sections and Paragraphs and the arrangement of the Drawings are not intended to control the Contractor in dividing the Work among Subcontractors or to establish the limits and extent of work to be performed by a particular trade. The Contractor alone is responsible for the completion of the entire work as drawn and specified, complete in place and in functional or operating conditions. The division of the Project Manual into sections and paragraphs is for convenience only and not for the purpose of limiting or restricting the performance of any portion of the Work to any particular trade. 1) Kitchen equipment. Walk-in coolers and freezers. ) Stainless steel tables and shelves. Remote refrigeration units, All refrigeration unit lines, power supply, calibration, etc. shall be installed and performed by the Contractor. The foodservice suppliers will not furnish pre-charged lines. 5) Booster heater. ) Stainless Steel Corner Guards. ection 01300 - Administrative Requirements PROJECT COORDINATION A. Cooperate with the Project Coordinator regarding allocation of mobilization areas on site; for field offices and sheds, for worker access, traffic, parking facilities and use of temporary utilities and construction facilities. B. Comply with Project Coordinator's procedures for intra-project communications; submittals, reports and records, schedules, coordination drawings, and recommendations; and resolution of Receiving and unloading of Owner furnished items: a. Prior to delivery and installation of the Owner's kitchen equipment, the following must be completed: Tile must be set and clean; Fiberglass Reinforced Panels (FRP) and/or shall be hung and trimmed; acoustical ceiling grid complete with all ligh fixtures, ductwork and diffusers installed; acoustical ceiling tile shall be installed; and all gypsum wall board ceilings shall be finished. C. Coordinate field engineering and layout work with Owner's Project Coordinator. D. Make the following types of submittals to Architect/Engineer through the Project Coordinator: 1. Requests for interpretation. 2) Contractor shall provide motorized, hydraulic forklift at site to assist in the offloading of Owner provided kitchen equipment. The Contractor shall inventory the Owner furnished items delivered to the job site and check each item to ensure that the correct type and model number per the food service plans and kitchen equipment brochure provided at the beginning of the project has been delivered. The Contractor shall notify the Owner immediately if any discrepancies are found. 2. Requests for substitution. 3. Shop drawings, product data, and samples. E. Make the following types of submittals to Owner through the Project Coordinator: 1. Test and inspection reports. 2. Manufacturer's instructions and field reports. 3) Contractor to provide copies of all delivery tickets, bills of lading, etc. certifying receipt of the Owner furnished items. 3. Applications for payment and change order requests. 4) Inspection of all Owner furnished items upon delivery for evidence of damage is the responsibility of the Contractor. The Contractor shall repair or replace at no cost to the Owner, any damaged equipment received at the job site and not noted on the bill of lading. 4. Progress schedules. 5. Coordination drawings 6. Closeout submittals. 5) The Contractor is solely responsible for care of the Owner furnished items once received until completion of the contract. Any lost or damage during his possession will be repaired or replaced at no cost to the Owner. PRECONSTRUCTION MEETING 9. Foodservice equipment installation: A. Make arrangements for meetings, prepare agenda with copies for participants and preside a a. The Contractor shall off load and uncrate all food service equipment, set in place, level and scribe to walls, floor and base as required. Pull equipment tight and secure field joints and properly dispose of all packing material.
 b. Properly anchor or fasten to walls, floor, ceiling, and base as per installation recommendations of the food service equipment manufacturer. B. Attendance Required: Job superintendent, major Subcontractors and suppliers, Owner, as appropriate to agenda topics for each meeting. C. Agenda: Provide silicone bead where equipment joins together or abuts wall surfaces. Color of silicone to be clear. 1. Execution of Owner-Contractor Agreement. d. Assemble and secure in place all loose components such as, but not limited to, the following examples: tops of base units, shelves, legs, dispensers, etc.

e. Mounting of equipment: Equipment which is not provided with legs or casters meeting the applicable requirements should be mounted by the following method: Equipment designed and constructed to be mounted directly to the floor, without legs or casters, should be sealed around the entire perimeter of the equipment. 2. Submission of executed bonds and insurance certificates. 3. Distribution of Contract Documents. 4. Submission of list of Subcontractors, list of Products, schedule of values, and progress 5. Designation of personnel representing the parties to Contract, Major Sub-Contractors and Installation of all food service equipment shall comply with all applicable codes and standards required by the local health department. 6. Procedures and processing of field decisions, submittals, substitutions, applications for payments, proposal request, Change Orders, and Contract closeout procedures. g. The Contractor shall provide rough in water, drainage and other service piping adjacent to food service equipment requiring same, capping drain outlets with suitable plugs and terminating water and other service with shut—off valves and cocks. After installing food service equipment, Contractor shall make all final D. Record minutes and distribute copies within two days after meeting to participants, with two copies to Architect/Engineer, Owner, participants, and those affected by decisions made. h. The Contractor shall supply one 14—inch diameter loop of soft copper coil at each water line for all applicable food service equipment and related cabinetry that may need to be repositioned for maintenance or repair. SITE MOBILIZATION MEETING The Contractor shall provide rough—in electrical wiring terminated in outlet boxed adjacent to food service equipment and shall make all final connections. This includes supplying devices, cord and plugs, etc, as required to complete installation. Sealing of Penetrations: A. Owner will schedule a meeting at the Project site prior to Contractor occupancy. B. Attendance Required 1. Contractor and Superintendent 1) Contractor shall adequately seal with escutcheons and/or sealant all utility and service piping and other required openings through walls and floors. 2. Owner. 2) Contractor shall seal conduit/outlet penetrations with approved foam insulation. 3. Major Subcontractors. 1. Use of premises by Owner and Contractor. Graining: Where two metal surfaces are butt welded, grain shall run in the same direction. 2. Owner's requirements and partial occupancy prior to completion. 2) Cove all intersections of vertical and horizontal sheet metal on a 5/8" radius unless otherwise indicated. 3. Construction facilities and controls provided by Owner. 4. Survey and building layout. Provide nuts, bolts, and screws of American Standard unified screw thread design in stainless steel, only when sanitary fastenings are impossible. In instances, use counter—sunk, flat, or oval head fasteners. round head fasteners are not acceptable. 5. Security and housekeeping procedures. Schedules. 7. Application for payment procedures. Wherever bolt threads are exposed, or may come in contact with a wiping cloth, use stainless steel acorn nuts. 8. Procedures for testing. Procedures for maintaining record documents. m. Welding: All welding shall be per AWS standards by electric arc method with rod of same composition as parts welded. make welds complete, strong, and ductile with rubble ground off and joints finished smooth, polished, and re—grained. Welds shall not be visible on continuous appearance. All welding shall be of a non—toxic 10.Requirements for start—up of equipment. 11.Inspection and acceptance of equipment put into service during construction period. nature when used on surfaces exposed to unpackaged food. n. Grinding, Polishing, and Finishing: Any material sunken or depressed by welding operation shall be hammered and peened flush with adjacent surfaces and, if necessary, ground again to eliminate low spots. Surfaces showing evidence of A. Make arrangements for meetings, prepare agenda with copies for participants, preside at warpage and/or burn discoloration will not be accepted. in all cases, textures from rough grinding shall be removed by successive finer polishing operations until the grain of the entire surface is homogeneous. B. Attendance Required: Job superintendent, major Subcontractors and suppliers, Owner, as appropriate to agenda topics for each meeting. o. Equipment Adjustment: Contractor shall operate all food service equipment, test for leaks, proper connections, inadequate or faulty performance, calibrate and correct and adjust for proper operation. All thermostatically controlled equipment and equipment with automatic features shall be operated for a sufficient length of time to prove controls are functioning as intended. All food service plans, shop drawings, and equipment brochures are to remain at the store and be handed over to the Owner for future reference. C. Agenda: Review minutes of previous meetings. 2. Review of Work progress. 3. Field observations, problems, and decisions. Identification of problems which impede planned progress. Testing: Contractor shall test all water and gas piping built within the food service equipment for leaks using approved testing procedures. 5. Review of submittals schedule and status of submittals. 6. Maintenance of progress schedule. ) Contractor shall remove all protective coverings, tags, labels, and tape from equipment. 7. Corrective measures to regain projected schedules. 8. Planned progress during succeeding work period. 2) Contractor shall thoroughly clean and polish Owner furnished items. Contractor shall place protective coverings on all equipment after cleaning until final acceptance of building then shall remove protective coverings. 9. Maintenance of quality and work standards. 10.Effect of proposed changes on progress schedule and coordination. 11.0ther business relating to Work. D. Record minutes and distribute copies within two days after meeting to participants, with two copies to Architect/Engineer, Owner, participants, and those affected by decisions made. A. Owner intends to occupy the Project upon Substantial Completion. Contractor shall cooperate with Owner to minimize conflict and to facilitate Owner's operations and schedule the Work to accommodate Owner occupancy. Owner reserves right to occupy and to place and install equipment as necessary in completed areas of building before Substantial Completion, provided such occupancy does not interfere with completion of Work. Such placing of equipment and partial occupancy shall not constitute acceptance of total Work. CONSTRUCTION PROGRESS SCHEDULE A. Within 10 days after joint review, submit complete schedule. B. Submit updated schedule with each Application for Payment. C. Owner or Owner's agent to prepare Certificate of Substantial Completion for each specific portion of Work to be occupied before Owner occupancy. D. Contractor shall obtain Certificate of Occupancy from local building officials before Owner A. Submit digital, electronic photograph files with each application for payment, taken not more than 3 days prior to submission of application for payment. Before partial Owner occupancy, mechanical and electrical systems shall be fully operational. B. Maintain one set of all photographs at project site for reference; same copies as submitted, Required inspections and tests shall have been successfully completed.

On occupancy, Owner will provide operation and maintenance of mechanical and electrical systems in occupied portions of Building. C. Provide photographs of site and construction throughout progress of Work produced by an experienced photographer, acceptable to Architect/Engineer. D. In addition to periodic, recurring views, take photographs of each of the following events: 1. Completion of site clearing. 2. Excavations in progress.

3. Foundations in progress and upon completion.

6. Final completion, minimum of ten (10) photos.

5. Enclosure of building, upon completion.

2. Provide factual presentation.

1. Delivery Medium: Via email.

E. Views:

1. Product data

2. Certificates.

3. Test reports.

4. Inspection reports.

7. Other types indicated.

5. Manufacturer's instructions.

6. Manufacturer's field reports.

2. Shop drawings

SUBMITTALS FOR INFORMATION

4. Structural framing in progress and upon completion.

4. Hard Copy: Printed hardcopy (grayscale) of PDF file.

1. Provide non—aerial photographs from four cardinal views at each specified time, until Date of Substantial Completion.

. Digital Photographs: 24 bit color, minimum resolution of 1024 by 768, in JPG format; provide files unaltered by photo editing software.

2. File Naming: Include project identification, date and time of view, and view identification.

A. When the following are specified in individual sections, submit them for review:

C. Samples will be reviewed only for aesthetic, color, or finish selection.

3. PDF File: Assemble all photos into printable pages in PDF format, with 2 to 3 photos per page, each photo labeled with file name; one PDF file per submittal.

B. Submit to Architect/Engineer for review for the limited purpose of checking for conformance with information given and the design concept expressed in the contract documents.

D. After review, provide copies and distribute in accordance with SUBMITTAL PROCEDURES and for record documents purposes described in Section 01780 — CLOSEOUT SUBMITTALS.

A. When the following are specified in individual sections, submit them for information

Section 01110 - Work Covered by Contract Documents

INTENT OF DRAWINGS AND SPECIFICATIONS

A. Sequentially number the transmittal form. Revise submittals with original number and a sequential alphabetic suffix. B. Identify Project, Contractor, Subcontractor or supplier; pertinent drawing and detail number, and specification section number, as appropriate on each copy. C. Apply Contractor's stamp, signed or initialed certifying that review, approval, verification of Products required, field dimensions, adjacent construction Work, and coordination of information is in accordance with the requirements of the Work and Contract Documents. E. Identify variations from Contract Documents and Product or system limitations which may be detrimental to successful performance of the completed Work. F. When revised for resubmission, identify all changes made since previous submission. G. Submittals not requested will not be recognized or processed. H. Do not make requests for deviations from contract documents via shop drawings, product data, or samples. Deviations will not be valid unless specifically approved under specified modification A. General Conditions of the Contract for Construction, AIA Document A201, Article 7, governs the work of this Section. CHANGE ORDER FORM A. Change Orders will be issued on Architect's standard forms. A. Proposal Request: If a change to the Work is considered by the Owner, the Architect will issue a formal request for Contractor's proposal for changes to the Contract. Request includes: Detailed description of change with supplementary or revised Drawings and Specifications, projected time for executing change, with a stipulation of any overtime work required, and period of time during which requested price will be considered valid. Contractor Response: Respond with formal written proposal referencing Architect's request number, job name, date, specific items requested and indicate total amount of change imposed costs and construction time consideration for each request. Give each numbered request individual response. Do not lump two or more proposals on one response. CONTRACT CHANGE METHODS Work Directive Change: Architect may issue a directive, signed by Owner, instructing Contractor to proceed with a change in the Work, for subsequent inclusion in a Change Order. Directive will describe changes in the Work, and will designate method of determining any change in Contract Sum or Contract Time. Promptly execute the change in Work.

3. Lump Sum Change Order: Will be based on Proposal Request and Contractor's lump sum quotation.
Unit Price Change Order:
1. For pre\_determined unit prices and quantities, Change Order will be executed on lump sum 2. For unit costs or quantities of units of work which are not predetermined, execute Work under a work directive change. Changes in Contract Sum or Contract Time will be computed as specified for time and material Change Order.

Time and Material Change Order: Submit itemized account and supporting data with 10 working days after completion of change; Architect will determine change allowable in Contract Sum and Contract Time as provided in GENERAL CONDITIONS. DOCUMENTATION OF CHANGE IN CONTRACT SUM AND TIME General: Document each quotation for a change in cost or time with sufficient data to allow Time and Material Changes: Maintain detailed records of work done. Provide full information required for evaluation of proposed changes, and to substantiate costs of changes in the Work.

Additional Data: On request, provide additional data to support computations:

1. Quantities of products, labor, and equipment. Taxes, insurance and bonds. 2. Overhead and profit.
3. Justification for any change in Contract Time.
4. Credit for deletions for Contract, similarly documented.
5. Additional Costs Claims: Support each claim for additional costs, and for work done on a time and material basis, with additional information:
1. Origin and date of claim.
2. Dates and times work was performed, and by whom.
3. Time records and was rates paid. 3. Time records and wage rates paid.
4. Invoices and receipts for products, equipment, and subcontracts, similarly documented. EXECUTION OF CHANGE ORDERS A. Architect will issue Change Orders for signatures of parties as provided in GENERAL CONDITIONS. CORRELATION OF CONTRACTOR SUBMITTALS

Schedule of Values: Promptly revise Schedule of Values and Application for Payment forms to record each authorized Change Order as separate line item and adjust Contract Sum as shown on Change Order.

B. Progress Schedules: Promptly revise Progress Schedules to reflect any change in Contract Time, revise sub—schedules to adjust times for other items of work affected by change, and resubmit.

C. Project Record Documents: Promptly enter changes in Project Record Documents. ection 01400 - Quality Requirements SUBMITTALS A. Test and Reports: After each test/inspection, promptly submit two copies of report to

. SUBMITTALS FOR PROJECT CLOSEOUT A. When the following are specified in individual sections, submit them at project closeout: 1. Project record documents. 2. Operation and maintenance data. 3. Warranties. 4. Bonds. 5. Other types as indicated. .NUMBER OF COPIES OF SUBMITTALS A. Documents for Reviews 1. Small Size Sheets, Not Larger Than  $8-1/2 \times 11$  inches: Submit the number of copies which the Contractor requires, plus one copy which will be retained by the Architect/Engineer. 2. Larger Sheets, Not Larger Than 30 x 42 inches: Submit the number of opaque reproductions which Contractor requires, plus one copy which will be retained by Architect/Engineer. B. Documents for Information: Submit two copies. C. Documents for Project Closeout: Make one reproduction of submittal originally reviewed. Submit D. Samples: Submit the number specified in individual specification sections; one of which will be retained by Architect/Engineer.

2. Retained samples will not be returned to Contractor unless specifically so stated.

1. After review, produce duplicates.

Architect/Engineer, Owner, and to Contractor.

d. Date and time of sampling or inspection.

g. Type and Date of test/inspection.

i. Conformance with Contract Documents.

e. Identification of product and specifications section.

When requested by Architect/Engineer, provide interpretation of results.

B. Certificates: When specified in individual specification sections, submit certification by the manufacturer and Contractor or subcontractor, in quantities specified for Product Data.

1. Indicate material or product conforms to or exceeds specified requirements. Submit supporting reference data, affidavits, and certifications as appropriate.

A. Monitor quality control over suppliers, manufacturers, products, services, site conditions, and workmanship, to produce Work of specified quality.

C. Comply with specified standards as minimum quality for the Work except where more stringent tolerances, codes, or specified requirements indicate higher standards or more precise

A. Monitor fabrication and installation tolerance control of products to produce acceptable Work. D

B. Comply with manufacturers' tolerances. Should manufacturers' tolerances conflict with Contract Documents, request clarification from Architect/Engineer before proceeding.

D. Verify that field measurements are as indicated on shop drawings or as instructed by the

B. Comply with manufacturers' instructions, including each step in sequence.

2. Test reports are submitted for the limited purpose of assessing conformance with information given and the design concept expressed in the contract documents.

1. Include:

a. Date issued.

b. Project title and number.

f. Location in the Project.

h. Results of test/inspection.

c. Name of inspector.

REFERENCES AND STANDARDS

CONTROL OF INSTALLATION

Architect/Engineer before proceeding.

procedures.

ARCHITECT: DAVID SCOTT

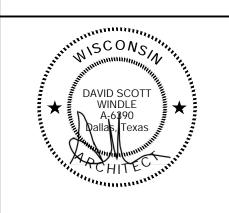
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01.31.22 PERMIT ISSUE

DATE DESCRIPTION

A. For products and workmanship specified by reference to a document or documents not included in the Project Manual, also referred to as reference standards, comply with requirements of the curriculated and are expecified by an area of the curricular to add a complete the control of the curricular to add a complete the control of the curricular to add a complete the control of the curricular to add a complete the curricular to a control of the curricular to control of the curricular to a control of the curricular to a co B. Should specified reference standards conflict with Contract Documents, request clarification from A. General Contract shall employ services of an independent testing agency to perform specified testing. Employment of agency in no way relieves Contractor of obligation to perform Work in accordance with requirements of Contract Documents.

**SPECIFICATIONS** 

A9.0

3. Ascertain compliance of materials and mixes with requirements of Contract Documents.

5. Perform additional tests and inspections required by Architect/Engineer. 6. Submit reports of all tests/inspections specified.

TESTING AND INSPECTION A. Testing Agency Duties:

1. Provide qualified personnel at site. Cooperate with Architect/Engineer and Contractor in performance of services. 2. Perform specified sampling and testing of products in accordance with specified standards.

4. Promptly notify Architect/Engineer and Contractor of observed irregularities or non-conformance of Work or products.

A. Replace Work or portions of the Work not conforming to specified requirements. B. If, in the opinion of Architect/Engineer, it is not practical to remove and replace the Work, Architect/Engineer will direct an appropriate remedy or adjust payment. ction 01500 - Temporary Facilities and Controls . TEMPORARY UTILITIES

A. Provide and pay for all electrical power, lighting, water, heating and cooling, and ventilation required for construction purposes.

TELEPHONE SERVICE A. Provide, maintain, and pay for telephone and facsimile services to field office at time of project

B. Execute work by methods to avoid damage to other work, and which will provide appropriate surfaces to receive patching and finishing. C. Employ skilled and experienced installer to perform cutting for weather exposed and moisture resistant elements, and sight exposed surfaces. TEMPORARY SANITARY FACILITIES A. Provide and maintain required facilities and enclosures. Provide at time of project mobilization. Maintain daily in clean and sanitary condition.

. Barriers A. Provide barriers to prevent unauthorized entry to construction areas, to allow for owner's use of site and to protect existing facilities and adjacent properties from damage from construction operations and demolition.

. DEFECT ASSESSMENT

B. Provide barricades and covered walkways required by governing authorities for public rights—of—way and for public access to existing building. C. Protect non-owned vehicular traffic, stored materials, site, and structures from damage

A. Construction: Contractor's option. B. Provide 6 foot high fence around construction site; equip with vehicular and pedestrian gates with locks.

A. Provide security and facilities to protect Work, existing facilities, and Owner's operations from unauthorized entry, vandalism, or theft.

. VEHICULAR ACCESS AND PARKING A. Coordinate access and haul routes with governing authorities and Owner. B. Provide and maintain access to fire hydrants, free of obstructions.

C. Provide temporary parking areas to accommodate construction personnel. When site space is not adequate, provide additional off—site parking. 3. WASTE REMOVAL

A. Provide waste removal facilities and services as required to maintain the site in clean and orderly condition. Provide containers with lids and remove trash from site. B. If materials to be recycled or re-used on the project must be stored on-site, provide suitable non-combustible containers; locate containers holding flammable material outside the structure unless otherwise approved by the authorities having jurisdiction. C. Open free—fall chutes are not permitted. Terminate closed chutes into appropriate containers with lids.

9. FIELD OFFICES A. Office: Weather tight, with lighting, electrical outlets, heating, cooling equipment, and equippe with sturdy furniture, drawing rack and drawing display table.

B. Provide space for Project meetings, with table and chairs to accommodate 6 persons. REMOVAL OF UTILITIES, FACILITIES, AND CONTROLS A. Remove temporary utilities, equipment, facilities, materials, prior to Substantial Completion

B. Remove underground installations to a minimum depth of 2 feet. Grade site as shown C. Clean and repair damage caused by installation or use of temporary work. D. Restore existing facilities used during construction to original condition. Section 01<u>600 - Product Requirements</u>

identify applicable products, models, options, and other data. Supplement manufacturers standard data to provide information specific to this Project.

3. Shop Drawing Submittals: Prepared specifically for this Project; indicate utility and electrical characteristics, utility connection requirements, and location of utility outlets for service for functional equipment and appliances. Sample Submittals: Illustrate functional and aesthetic characteristics of the product, with

A. Product Data Submittals: Submit manufacturer's standard published data. Mark each copy to

integral parts and attachment devices. Coordinate sample submittals for interfacing work.

1. For selection from standard finishes, submit samples of the full range of the manufacturer's standard colors, textures, and patterns.

. NEW PRODUCTS A. Provide new products unless specifically required or permitted by the Contract Documents.

A. Products Specified by Reference Standards or by Description Only: Use any product meeting those standards or description. B. Products Specified by Naming One or More Manufacturers: Use a product of one of the manufacturers named and meeting specifications, no options or substitutions allowed.

C. Products Specified by Naming One or More Manufacturers with a Provision for Substitutions: Submit a request for substitution for any manufacturer not named.

A. Instructions to Bidders specify time restrictions for submitting requests for substitutions during the bidding period. Comply with requirements specified in this section. B. Substitutions may be considered when a product becomes unavailable through no fault of the C. Document each request with complete data substantiating compliance of proposed substitution with Contract Documents. D. A request for substitution constitutes a representation that the submitter:

1. Has investigated proposed product and determined that it meets or exceeds the quality level of the specified product. Will provide the same warranty for the substitution as for the specified product. . Will coordinate installation and make changes to other Work which may be required for the Work to be complete with no additional cost to Owner.

4. Waives claims for additional costs or time extension which may subsequently become Substitutions will not be considered when they are indicated or implied on shop drawing or product data submittals, without separate written request, or when acceptance will require revision to the Contract Documents.

OWNER-SUPPLIED PRODUCTS A. Contractor's Responsibilities:

. SUBMITTALS

Review Owner reviewed shop drawings, product data, and samples Receive and unload products at site; inspect for completeness or damage jointly with

3. Handle, store, install and finish products. 4. Repair or replace items damaged after receipt.

TRANSPORTATION AND HANDLING A. Coordinate schedule of product delivery to designated prepared areas in order to minimize site storage time and potential damage to stored materials.

. Transport and handle products in accordance with manufacturer's instructions. 2. Provide equipment and personnel to handle products by methods to prevent soiling, disfigurement, or damage.

STORAGE AND PROTECTION A. Designate receiving/storage areas for incoming products so that they are delivered according to installation schedule and placed convenient to work area in order to minimize waste due to excessive materials handling and misapplication. B. Store and protect products in accordance with manufacturers' instructions with labels intact and

 Store sensitive products in weather tight, climate controlled, enclosures in an environment favorable to product. ). For exterior storage of fabricated products, place on sloped supports above ground. Cover products subject to deterioration with impervious sheet covering. Provide ventilation to prevent condensation and degradation of products. Arrange storage of products to permit access for inspection. Periodically inspect to verify products are undamaged and are maintained in acceptable condition.

<u>ection 01700 - Execution Requirements</u> Namination.

Verify that existing site conditions and substrate surfaces are acceptable for subsequent work. Start of work means acceptance of existing conditions.

Verify that existing substrate is capable of structural support or attachment of new work being applied or attached.

Verify that utility services are available, of the correct characteristics, and in the correct locations. locations.
Prior to Cutting: Examine existing conditions prior to commencing work, including elements subject to damage or movement during cutting and patching. After uncovering existing work, assess conditions affecting performance of work. Beginning of cutting or patching means acceptance of existing conditions.

A. Verify locations of survey control points prior to starting work. Protect survey control points prior to starting site work; preserve permanent reference points during construction.

1. Site improvements including pavements; stakes for grading, fill and topsoil placement; utility locations, slopes, and invert elevations.

D. Cut rigid materials using masonry saw or core drill. Pneumatic tools not allowed without prior

E. Restore work with new products in accordance with requirements of Contract Documents.

H. Refinish surfaces to match adjacent finish. For continuous surfaces, refinish to nearest intersection or natural break. For an assembly, refinish entire unit.

A. Maintain areas free of waste materials, debris, and rubbish. Maintain site in a clean and

B. Remove debris and rubbish from pipe chases, plenums, attics, crawl spaces, and other closed remote spaces, prior to enclosing the space.

D. Collect and remove waste materials, debris, and trash/rubbish from site weekly and dispose off—site; do not burn or bury.

B. Protect finished floors, stairs, and other surfaces from traffic, dirt, wear, damage, or movement of heavy objects, by protecting with durable sheet materials.

B. Verify that each piece of equipment or system has been checked for proper lubrication, drive rotation, belt tension, control sequence, and for conditions which may cause damage.

E. Execute start—up under supervision of applicable Contractor personnel and manufacturer's

). Verify that wiring and support components for equipment are complete and tested

Verify tests, meter readings, and specified electrical characteristics agree with those required by the equipment or system manufacturer.

5. Submit a written report that equipment or system has been properly installed and is functioning

A. Demonstrate start—up, operation, control, adjustment, trouble—shooting, servicing, maintenance, and shutdown of each item of equipment at scheduled time, at equipment location.

3. For equipment or systems requiring seasonal operation, perform demonstration for other seaso

B. Clean interior and exterior glass, surfaces exposed to view; remove temporary labels, stains and

C. Clean equipment and fixtures to a sanitary condition with cleaning materials appropriate to the

G. Remove waste, surplus materials, trash/rubbish, and construction facilities from the site; dispose

A. Accompany Owner on preliminary inspection to determine items to be listed for completion or correction in Contractor's Notice of Substantial Completion.

C. Correct items of work listed in executed Certificates of Substantial Completion and comply with requirements for access to Owner—occupied areas.

foreign substances, polish transparent and glossy surfaces, vacuum carpeted and soft surfaces

C. Prohibit traffic or storage upon waterproofed or roofed surfaces. If traffic or activity is necessary, obtain recommendations for protection from waterproofing or roofing material

C. Broom and vacuum clean interior areas prior to start of surface finishing, and continue cleaning

F. Fit work air tight to pipes, sleeves, ducts, conduit, and other penetrations through surfaces.

G. At penetrations of fire rated walls, partitions, ceiling, or floor construction, completely seal voids with fire rated material to full thickness of the penetrated element.

C. Establish elevations, lines and levels. Locate and lay out by instrumentation and similar

3. Building foundation, column locations, ground floor elevations, and plumbing.

D. Maintain a complete and accurate log of control and survey work as it progresses.

A. Clean substrate surfaces prior to applying next material or substance.

required because of changes in grades or other reasons.

2. Grid or axis for structures.

PROGRESS CLEANING

PROTECTION OF INSTALLED WORK

DEMONSTRATION AND INSTRUCTION

A. Use cleaning materials that are non-hazardous.

surface and material being cleaned.

of in legal manner; do not burn or bury.

D. Notify Owner when work is considered finally complete.

PROJECT SUPERVISION AFTER SUBSTANTIAL COMPLETION

D. Clean filters of operating equipment.

B. Operation and Maintenance Data:

PROJECT RECORD DOCUMENTS

1. Drawings.

3. Addenda.

2. Specifications.

D. CLOSEOUT PROCEDURES

. FINAL CLEANING

A. Protect installed work from damage by construction operations.

A. Coordinate schedule for start-up of various equipment and systems.

representative in accordance with manufacturers' instructions.

E. Clean debris from roofs, gutters, downspouts, and drainage systems. F. Clean site; sweep paved areas, rake clean landscaped surfaces.

B. Notify Owner when work is considered ready for Substantial Completion

A. Project superintendent shall remain on site through completion of punch list.

B. Project superintendent shall be present on site for one week prior to store opening.

Owner's permission, submit documents within ten days after acceptance.

4. Change Orders and other modifications to the Contract.

6. Manufacturer's instruction for assembly, installation, and adjusting.

C. Store record documents separate from documents used for construction.

1. Measured depths of foundations in relation to finish first floor datum.

B. Ensure entries are complete and accurate, enabling future reference by Owner.

5. Reviewed shop drawings, product data, and samples.

D. Record information concurrent with construction progress.

1. Manufacturer's name and product model and number.

referenced to permanent surface improvements.

2. Product substitutions or alternates utilized. 3. Changes made by Addenda and modifications.

4. Field changes of dimension and detail.

5. Details not on original Contract drawings

SUBMITTALS
A. Project Record Documents: Submit documents to Owner with claim for final Application for

1. Submit two copies of preliminary draft or proposed formats and outlines of contents before start of Work. Architect/Engineer will review draft and return one copy with comments.

2. For equipment, or component parts of equipment put into service during construction and operated by Owner, submit completed documents within ten days after acceptance.

1. For equipment or component parts of equipment put into service during construction with

2. Make other submittals within ten days after Date of Substantial Completion, prior to final

3. For items of Work for which acceptance is delayed beyond Date of Substantial Completion, submit within ten days after acceptance, listing the date of acceptance as the beginning of

A. Maintain on site one set of the following record documents; record actual revisions to the Work:

E. Specifications: Legibly mark and record at each product section description of actual products installed, including the following:

Record Drawings and Shop Drawings: Legibly mark each item to record actual construction

3. Measured locations of internal utilities and appurtenances concealed in construction, referenced to visible and accessible features of the Work.

2. Measured horizontal and vertical locations of underground utilities and appurtenances,

3. Submit two sets of revised final documents in final form within 10 days after final inspection

OPERATION AND MAINTENANCE DATA A. For Each Product or System: List names, addresses and telephone numbers of Subcontractors and suppliers, including local source of supplies and replacement parts. B. Product Data: Mark each sheet to clearly identify specific products and component parts, and data applicable to installation. Delete inapplicable information. C. Drawings: Supplement product data to illustrate relations of component parts of equipment and systems, to show control and flow diagrams. Do not use Project Record Documents as

D. Typed Text: As required to supplement product data. Provide logical sequence of instructions for each procedure, incorporating manufacturer's instructions.

OPERATION AND MAINTENANCE DATA FOR MATERIALS AND FINISHES A. Instructions for Care and Maintenance: Manufacturer's recommendations for cleaning agents and methods, precautions against detrimental cleaning agents and methods, and recommended schedule for cleaning and maintenance. B. Seal cracks or openings of substrate prior to applying next material or substance.
C. Apply manufacturer required or recommended substrate primer, sealer, or conditioner prior to applying any new material or substance in contact or bond.

> A. For Each Item of Equipment and Each System: 1. Description of unit or system, and component parts. 2. Identify function, normal operating characteristics, and limiting conditions. 3. Complete nomenclature and model number of replaceable parts.

OPERATION AND MAINTENANCE DATA FOR EQUIPMENT AND SYSTEMS

B. Promptly report to Architect/Engineer the loss or destruction of any reference point or relocation B. Panelboard Circuit Directories: Provide electrical service characteristics, controls, and communications; typed.

C. Operating Procedures: Include start—up, break—in, and routine normal operating instructions and sequences. Include regulation, control, stopping, shut—down, and emergency instructions. Include summer, winter, and any special operating instructions. D. Maintenance Requirements: Include routine procedures and guide for preventative maintenance and troubleshooting; disassembly, repair, and reassembly instructions; and alignment, adjusting, balancing, and checking instructions.

E. Include manufacturer's printed operation and maintenance instructions. F. Include sequence of operation by controls manufacturer. A. Execute cutting and patching including excavation and fill to complete the work, to uncover work in order to install improperly sequenced work, to remove and replace defective or non-conforming work, to remove samples of installed work for testing when requested, to provide openings in the work for penetration of mechanical and electrical work, to execute patching to complement adjacent work, and to fit products together to integrate with other work. G. Provide original manufacturer's parts list, illustrations, assembly drawings, and diagrams required for maintenance. H. Provide framed information as follows. All information shall be framed in black metal frames. 1. Subcontractor list and service company contact information (to be located in office)

2. All warranty information (located in office) 3. Legend and locations of labels on valves and knobs in mechanical room (located in mechanical room) 4. Map of zones for irrigation system located with irrigation controls.

OPERATION AND MAINTENANCE MANUALS A. Prepare instructions and data by personnel experienced in maintenance and operation of described products in the form of an instructional manual. B. Binders: Commercial quality, 8—1/2 x 11 inch three D side ring binders with durable plastic covers; 2 inch maximum ring size. When multiple binders are used, correlate data into related consistent aroupings. consistent groupings.

C. Cover: Identify each binder with typed or printed title OPERATION AND MAINTENANCE INSTRUCTIONS; identify title of Project; identify subject matter of contents. D. Provide tabbed dividers for each separate product and system, with typed description of product and major component parts of equipment. E. Arrange content by systems under section numbers and sequence of Table of Contents of this Project Manual. F. Contents: Prepare a Table of Contents for each volume, with each product or system description identified with tabbed dividers, in three parts as follows:

 Part 1: Directory, listing names, addresses, and telephone numbers of Architect/Engineer Contractor, Subcontractors, and major equipment suppliers. 2. Part 2: Operation and maintenance instructions, arranged by system and subdivided by specification section. For each category, identify names, addresses, and telephone numbers of Subcontractors and suppliers. Identify the following: a. Significant design criteria.

b. List of equipment c. Parts list for each component. d. Operating instructions. e. Maintenance instructions for equipment and systems.

f. Maintenance instructions for special finishes, including recommended cleaning methods and materials, and special precautions identifying detrimental agents. 3. Part 3: Project documents and certificates, including the following: a. Shop drawings and product data.

b. Certificates.

A. Obtain warranties and bonds, executed in duplicate by responsible Subcontractors, suppliers, a manufacturers, within ten days after completion of the applicable item of work. Except for items put into use with Owner's permission, leave date of beginning of time of warranty until the Date of Substantial completion is determined. B. Verify that documents are in proper form, contain full information, and are notarized. C. Co-execute submittals when required.

D. Manual: Bind in commercial quality  $8-1/2 \times 11$  inch three D side ring binders with durable E. Cover: Identify each binder with typed or printed title WARRANTIES AND BONDS, with title of Project; name, address and telephone number of Contractor and equipment supplier; and name of responsible company principal.

Table of Contents: Neatly typed, in the sequence of the Table of Contents of the Project Manual, with each item identified with the number and title of the specification section in which specified, and the name of product or work item. G. Separate each warranty or bond with index tab sheets keyed to the Table of Contents listing. Provide full information, using separate typed sheets as necessary. List Subcontractor, supplier and manufacturer, with name, address, and telephone number of responsible principal.

ision 02 - Sitework tion 02060 - Minor Demolition for Remodeling SECTION INCLUDES

Demolish portions of designated structures.

Demolish portions of designated structures.

Disconnect, cap, and identify utilities.

Removal of underground piping.

Removal of existing construction indicated on Drawings and/or required by work specified in other Sections of these Specifications.

Protection of persons and property.

SUBMITTALS

A. Contractor is solely responsible for coordination of work of this Section with work of subcontractors and Owner's staff for work of other Sections of these Specifications.

A. Submit demolition and removal procedures and schedule per SUBMITTALS Sections.

B. Conduct operations with minimum interference to public or private thoroughfares. Maintain egress and access at all times. Use of explosives is prohibited. PREPARATION A. General: Protect existing items which are not indicated to be altered. Prevent movement or settlement of adjacent structures. Erect and maintain weatherproof closures for exterior

openings. Erect and maintain temporary partitions to prevent spread of dust, fumes, noise, and smoke. Protect existing items which are not indicated to be altered. B. Existing Utilities: Disconnect, remove and cap designated utility services within demolition areas.

Mark location of disconnected utilities. Identify and indicate capping locations on Project Record

A. Persons: Erect and maintain fences, planking, bridges, bracing, shoring, sheath piling, lights, barricades, warning signs and guards required for protection of workmen and the public. Access to South entry of existing educational building and West entry to Family Life Center must be maintained on Sundays throughout construction duration. B. Property: Use care and appropriate means to protect construction and property which is not

part of Work of Contract. Repair, refinish and/or replace damaged construction and property at no additional cost to Owner. EXECUTION A. General: Demolish in orderly and careful manner with least possible disturbance to public and

B. Ownership of Items Removed: Equipment and materials resulting from demolition work is property of Contractor, unless noted otherwise on the Drawings. C. Existing Construction: Demolish designated structures and appurtenances in an orderly and careful manner.

Keep work sprinkled to minimize dust. Provide hoses and water main or hydrant connections for this purpose.

3. Back-fill areas excavated caused as a result of demolition. 4. Rough grade and compact areas affected by demolition to maintain new site grades.

A. Except where noted otherwise, immediately remove and dispose of demolished materials away from site. Do not burn or bury materials on site. ection 02361 - Termite Control A. This Section includes the following:

REFERENCES
A. Title 7, United States Code, 136 through 136y — Federal Insecticide, Fungicide and Rodenticide Act; United States Code; 1947 (Revised 2001). REGULATORY REQUIREMENTS

Conform to applicable code for requirements for application and comply with EPA regulations.

Provide certificate of compliance from authority having jurisdiction indicating approval of SEQUENCING AND REPORTING Apply toxicant immediately prior to installation of vapor barrier under slabs—on—grade.

Soil Treatment Application Report: Include the following:

1. Date and time of application.

2. Moisture content of soil before application.

Brand name and manufacturer of termiticide. Quantity of undiluted termiticide used. Dilutions, methods, volumes, and rates of application used. Areas of application.

Soil treatment with termiticide

Water source for applicat

A. Provide five—year installer's warranty against damage to building caused by termites. Include coverage for repairs to building and to contents damaged due to building damage. Repair damage and, if required, re—treat.

Subject to compliance with requirements, manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following: 1. Termiticides: a. Aventis Environmental Science USA LP; Termidor.

b. Bayer Corporation; Premise 75.c. Dow AgroSciences LLC; Dursban TC or Equity. d. FMC Corporation, Agricultural Products Group; Talstar, Prevair FT or Torpedo e. Syngenta; Demon TC.

A. Toxicant Chemicals: EPA approved; synthetically color dyed to permit visual identification of treatment. B. Diluent: Recommended by toxicant manufacturer. C. Mix toxicant to manufacturer's instructions.

A. Verify that soil surfaces are unfrozen, sufficiently dry to absorb toxicant, and ready to receive treatment. B. Verify final grading is complete

A. Termiticide: Provide an EPA—registered termiticide complying with requirements of authorities having jurisdiction, in an aqueous solution formulated to prevent termite infestation. Provide quantity required for application at the label volume and rate for the maximum termiticide concentration allowed for each specific use, according to product's EPA—Registered Label. 1. General: Remove all extraneous sources of wood cellulose and other edible materials such as wood debris, tree stumps and roots, stakes, formwork, and construction waste wood from soil within and around foundations.

Soil Treatment Preparation: Loosen, rake, and level soil to be treated except previously compacted areas under slabs and footings. Termiticides may be applied before placing compacted fill under slabs if recommended in writing by termiticide manufacturer. Application: Mix soil treatment termiticide solution to a uniform consistency. Provide quantity required for application at the label volume and rate for the maximum specified concentration of termiticide, according to manufacturer's EPA—Registered Label, to the following so that a continuous horizontal and vertical termiticidal barrier or treated zone is established around and under building construction. Distribute treatment evenly.

1. Slabs—on—Grade: Underground—supported slab construction, including footings, building slabs, and attached slabs as an overall treatment. Treat soil materials before concrete footings and slabs are placed. ootings and slabs are placed. P. Foundations: Adjacent soil including soil along the entire inside perimeter of foundation walls, along both sides of interior partition walls, around plumbing pipes and electric conduit penetrating the slab, and around interior column footers, piers, and chimney bases; also along the entire outside perimeter, from grade to bottom of footing. Avoid

. Crawlspaces: Soil under and adjacent to foundations as previously indicated. Treat adjacent areas including around entrance platform, porches, and equipment bases. Apply overall treatment only where attached concrete platform and porches are on fill or

Masonry: Treat voids. 5. Penetrations: At expansion joints, control joints, and areas where slabs will be Avoid disturbance of treated soil after application. Keep off treated areas until completely dry. Protect termiticide solution, dispersed in treated soils and fills, from being diluted until ground—supported slabs are installed. Use waterproof barrier according to EPA—Registered Label

F. Post warning signs in areas of application.
G. Reapply soil treatment solution to areas disturbed by subsequent excavation, grading, landscaping, or other construction activities following application. H. Apply extra treatment to structure penetration surfaces such as pipe or ducts, and soil

penétrations such as grounding rods or posts. Do not permit soil grading over treated work. <u> Section 02505 - Concrete Paving, Walks, Curbs and Gutters</u> SECTION INCLUDES

A. Concrete pedestrian traffic surfaces (walks, ramps, etc.) B. Concrete vehicular traffic surfaces C. Concrete curbs and gutters REFERENÇE PUBLICATIONS AND STANDARDS

A. Governing Authority: Applicable standards and regulations of state and municipal agencies having governing authority over the work specified in this section shall take priority over items specified herein and shown on the drawings unless the requirements set forth herein require a superior quality work.

B. Material Standards: American Society for Testing Materials (ASTM),

C. Concrete Standards: American Concrete Institute (ACI): ACI\_617 "Standard Specifications for Concrete", Pavement and Bases" ACI\_395 "Manual of Standard Practice for Detailing Reinforced Concrete".

SUBMITTALS
A. Testing Laboratory Reports: Furnish three copies of the test reports to the Owner indicating results of the cylinder test. . BASIC MATERIALS A. Concrete and Reinforcing Steel: As Specified in CAST\_IN\_PLACE CONCRETE

5. MISCELLANEOUS MATERIALS
A. Air Entraining Agent: ASTM C0260, Master Builders or equal.
B. Dispersing Admixture: ASTM C\_494, Master Builders or equal.
C. Curing\_Compound: ASTM C\_309, No. 40W by A. C. Horn Company or equal.
D. Joint Filler: ASTM D1751, pre-molded fiber filler, unless shown otherwise on the drawings.
E. Joint Sealer: ASTM D\_1190, Code 2351.

6. CONCRETE MIX DESIGN
A. Contractor shall employ and pay for, as a part of the contract price, the services of an Owner approved independent testing laboratory to determine actual design mix to be used, based on the following: All concrete: 3000 psi at 28 days.

7. INSPECTION OF SUBGRADE A. Inspect subgrades prepared as specified elsewhere in these Specifications and report any deficiencies to the Owner before beginning work. Commencement of work shall indicate acceptance of subgrades by this Contractor.

A. General: Deliver and place concrete as specified in CAST\_IN\_PLACE CONCRETE. B. Curbs and Gutters: Configurations: Construct to cross\_sectional details shown on drawings and at indicated locations. Curbs may be fully formed or pulled and troweled to configurations shown on the locations. Curbs may be fully formed or pulled and flowered to solve drawings.

2. Reinforcement: Reinforce as indicated on the drawings with continuous reinforcing bars lapped 30 bar diameters and securely tied at all splices. Metal chairs shall be used to hold the reinforcing steel in the proper plane.

3. Expansion Joints: Construct ½ wide expansion joints with joint filler across lengths of curb at all tangent points and at not more than twenty foot intervals. Construct one inch wide expansion joints with joint filler between curbs and concrete paving. All fixed objects, such as buildings, poles, pipes, catch basins, etc., within or abutting the concrete shall be separated from the concrete by expansion joints.

4. Finishing: Finish surfaces with dense uniform texture equal to burlap drag and cross\_score with 1/4" deep cross joints at ten foot intervals with edges smoothed 1/8".

with 1/4" deep cross joints at ten foot intervals with edges smoothed 1/8".

5. Joints: Fill expansion joints with joint filler except for space 3/4" deep at surface. After concrete has set, clean the open joint above filler and fill with joint sealer in accordance winstructions of sealer manufacturer.

Vehicular Traffic Surfaces:

1. Configuration: Construct to cross—sectional details shown on drawings and at indicated 2. Reinforcement: Reinforce with #3 minimum size reinforcing bars 18 inches on center both ways, unless otherwise indicated or noted on the drawings.

3. Expansion and Construction Joints: At intentional points for stoppage of concrete placing, use continuation of expansion joints. At unintentional points of stoppage of concrete placing, use continuation of

expansion joints. At unintentional points of stoppage of concrete placing, use continuation of reinforcing through joints. Construct 1/2 inch wide expansion joints with joint filler at locations shown on the drawings or at not more than twenty foot intervals each way if not shown. Construct 1/2 inch wide expansion joints with joint filler between curbs and concrete paving. All fixed objects, such as buildings, poles, pipes, catch basins, etc., within or abutting the concrete shall be separated from the concrete by expansion joints.

4. Joint Filling and Sealing: Fill expansion joints with joint filler except for space 3/4" deep at surface. After concrete has set, clean the open joint above filler and fill with joint sealer in accordance with instructions of sealer manufacturer.

5. Finishing: Vibrate, screed and float concrete to level and test the surface, which shall not vary over 1/4" in ten feet when tested with ten foot straight edge. Finish surface to gritty texture with burlap drag or straight continuous strokes with a stiff bristle push broom. Finish all edges smooth with 1/8" or 1/4" radius.

D. Walks:

1. Configurations: Construct to cross—sectional details shown on drawings and at indicated locations.

 Configurations: Construct to cross—sectional details shown on drawings and at indicated locations.
 Sand Cushion: Concrete shall be placed over a sand cushion placed on the stabilized subgrade as shown on the drawings or a minimum of 4" thick if not shown on the drawings.
 Reinforcing: Reinforce with 6 x 6 x W1.4, WWF, minimum reinforcing unless otherwise indicated or noted on the drawings.
 Expansion Joints: Construct expansion joints as detailed in locations shown on the drawings.
 Finishing: Finish surfaces not noted on the drawings to be finished otherwise to a "broom" or "burlap drag" gritty surface. Tool all joints and all edges to provide a smooth border to each section or division of the walk. Finish all vertical surfaces in a manner that leaves the exposed surfaces free of "honeycombing" and form marks. Any damaged surfaces shall be repaired and stone—rubbed to match adjacent finished surfaces. . CURING CONCRETE

A. Apply a white\_pigmented type curing compound at a uniform rate of approximately 200 sq. ft,/gallon, or as recommended by curing compound manufacturer as soon as the finishing operation has been completed and the concrete has lost its water sheen. The curing procedure must protect the concrete, including all exposed surfaces against loss of moisture and rapid temperature change for a period of not less than four days from the beginning of the curing operation and without damage to, or marking of the finished concrete surface. Traffic shall not be allowed on finished concrete for a minimum period of seven days.

A. Independent Testing Laboratory: Contractor shall employ and pay for, as a part of the contract price, the services of an Owner\_ approved independent testing laboratory to perform concrete cylinder testing. Test cylinders shall be taken and cured by the Contractor and tested by the testing laboratory for each different class of concrete poured in any one day. Cylinders shall be taken in accordance with ASTM C31, and cured and tested in accordance with ASTM C39. One set of three cylinders is required for each 50 cubic yards of concrete or less, placed in any one day. One cylinder shall be tested at 7 days, one cylinder shall be tested at 28 days and one cylinder shall be held as a spare from each set of three cylinders as specified above.

B. Contractor Tests: B. Contractor Tests:

1. Slump Tests: Slump tests shall be taken by the Contractor when cylinders are taken and shall show maximum slump 5" and minimum slump 3".

2. Air Entrainment: Air content by volume: 5% to 7% based on measurements made in concrete mixtures at point of discharge at job site at time slump tests are made. Air content by volume shall be determined in accord with ASTM C231.

CLEANING CONCRETE
 A. Concrete approaches, sidewalks and related work shall be hosed down with water, scrubbed with fiber brushes, allowed to dry and be left broom clean and in condition acceptable to the Owner.

ectio<u>n 02580 - Pavement Marking</u> GENERAL

a. Marking paint shall conform to AASHTO M248 (chlorinated rubber—alkyd), Type III. Apply as 4" wide stripes (or symbols as indicated) in one coat of 125 sq. ft. per gallon. Color shall be white. Handicapped details shall comply with the latest provisions of the Americans with Disabilities Act and local accessibility standards. 2. Inspect annually and report in writing to Owner. Provide inspection service for three (3) years from Date of Substantial Completion. Dust, clay, silt, and excess sand shall be removed by sweeping from pavement to be marked

ection 02854 - Parking Bumpers (Wheel Stops)

SECTION INCLUDES A. Parking bumper (wheel stop)

A. Precast concrete, semi\_circular or beveled square in cross\_section, 8'\_0" long X 6" high X 8" wide, with holes for three dowels cast through each unit, and two 6 inch x 3/4 inch drainage

A. Not less than 2 - 3/4" round X 12" long (minimum) steel dowels as recommended by wheel stop manufacturer. A. Install wheel stops in locations and in accord with details shown on the drawings.

A. Countersink steel dowels to a point 1/2" to 3/4" below the top surface of the wheel stop and set in such a manner as to avoid chipping or cracking the concrete during installation, and seal reveal with silicone caulking flush.

A. Upon completion of work of this section, remove related debris from premises.

A. The Contractor shall furnish labor, materials and equipment necessary to install all items of cast—in—place concrete, and all necessary items as shown on the drawings, including anchor bolts for columns, items specified herein, and items required for a complete installation. A. The ACI "Manual of Concrete Practice" and the CRSI "Manual of Standard Practice" shall apply unless modified herein.

A. Cement: The cement used shall be Portland Cement, conforming to ASTM C 150, Type I. One brand shall be used for the complete project. High early strength concrete may be used at General Contractor's discretion

Aggregates:
1. Coarse aggregate shall conform to ASTM C-33 specifications with maximum size No. 57. The material shall consist of crushed stone, gravel, or other hard, strong, durable, Fine aggregate shall conform to ASTM C-33 and may be natural sand or manufactured

Air entrainment agents conforming to ASTM C-260 shall be used in concrete exposed to weather and may be used in all concrete on this project. Air entraining admixtures shall be used to produce 3% to 6% air by volume in the concrete.
 High-range water reducing admixture (Super Plasticizer) meeting requirements of ASTM C 494 may be used at the discretion of the Contractor.

E. Concrete Sealers: 1. Materials: a. Base Sealer: Micro Guard Concrete Clear Waterproofing Sealer, # AD702.
b. Surface Sealer: Micro Guard Hard Tile Clear Matte Finish Treatment, #AD708.
c. Admixture: Micro Grip Anti-Skid Floor Media Additive, # AD5-050.
Water: Water used for mixing of concrete shall be potable.
Reinforcing Bars: All reinforcing bars shall conform to ASTM A615 - Grade 60. All bars shall

be free of loose and/or excessive rust or other materials which will prevent bond.

Fly Ash:

1. Fly ash, Class C or F, conforming to the requirements of ASTM C618. The use of fly ash shall be subject to review and approval by the Architect of Record. When used in the mix design, fly ash shall comprise no more than 20% of the mix design's total cementitious material, by weight. Fly ash shall not be used in concrete exposed for architectural/aesthetic purposes.

Expansion Joint Material: Expansion joint material shall conform to ASTM D1751.

Mill Tests: Reports may be required on any and all material at the Engineer's discretion and direction. Costs of these reports shall be borne by the Contractor.

No calcium chloride shall be used on this project.

. CONCRETE QUALITY

A. Strength: All cast\_in-place concrete shall have a maximum weight of 150 pounds per cubic foot and minimum strength at 28 days (ultimate strength of 3000 psi).

Proportioning of the Concrete Mixture:

1. The proportion of the aggregate to cement for any concrete shall be such as to produce a mixture which will work readily into the corners and angles of the forms and around reinforcement with the method of placing employed on the work, but without permitting the materials to segregate or excess free water to collect on the surface.

2. The materials used for the concrete shall be measured by weight. Maximum slump shall be 4"

shall be 4". 3. Measure, batch, mix and deliver concrete with pigments, where noted, in accordance with manufacturer's written instructions. C. Tests:

1. The Contractor shall assist testing laboratory to receive, mark, cure, and test cylinders in accordance with ASTM C-39. The test report by the laboratory shall identify the location of the concrete sampled, date, slump, air content and other necessary information. The laboratory shall send electronic copies of the reports to the Owner.

2. Equipment needed at the site shall be furnished by the Contractor.

3. Routine tests of concrete shall consist of:

Compressive strength test for each day's pour and/or each 50 cubic yards of concrete poured. This test shall conform to ASTM C-31 and consist of 4 cylinders.

A. Owner's Approval: The Contractor shall notify the Owner 48 hours prior to schedule placement of concrete. The forms, steel and other conditions must be approved prior to placement of concrete. MIXING AND PLACING CONCRETI

A. All concrete for this project shall be from an approved central mixing plant. Mixing and delivery shall conform to ASTM C-94.

B. Concrete shall be conveyed from the mixer to the place of final deposit by methods which will prevent the separation of loss of materials.

Concrete shall be deposited as nearly as practicable in its final position to avoid segregation due to re—handling or flowing. When concreting is once started, it shall be carried on as a continuous operation until the placing of the panel or section is completed. Concrete shall be maintained in a moist condition for seven (7) days after placing by one of the following methods:

a. Wet coverings

Spraying
Curing compound
1. Curing method shall be compatible with floor coatings or coverings.
2. Ashford formula may be used in lieu of curing compound (Part 3). This material shall be applied according to manufacturer's recommendations. Adequate precautions shall be taken for cold weather or hot weather concreting. (ACI 306 or ACI 305).

FORM WORK AND CONSTRUCTION DETAILS Forms shall conform to shapes, lines and dimensions of the members as called for on the plans and shall be sufficiently tight to prevent the leakage of mortar. They shall be properly braced or tied together so as to maintain position and shape.

Form material shall be of:

a. Plywood: APA Plyform conforming to PS 174
b. Metal Forms

Before placing the concrete and reinforcing steel, the contact surfaces of all forms shall be thoroughly wetted with water or coated with approved form oil. The form oil shall be applied with a brush or spray so as to cover the form evenly without excess drip. Form coating material used to coat formwork to facilitate the removal thereof shall not cause softening or permanent staining of the concrete surface.

B. Removal of Forms: Forms not required for structural support may be removed as soon as concrete has hardened sufficiently to resist damage during removal of forms.

Steel trowel finish shall be applied to all floor slabs in the building, unless otherwise noted Light broom finish perpendicular to traffic shall be applied to all exterior walkways. A 3/4" transverse contraction joint shall be formed with a tool designed for that purpose at equal intervals not exceeding the width of the walkway. All edges adjoining the final ground line shall be rounded with a 1/4" edger. Expansion joints shall not exceed 20'

Concrete Sealer:

1. Step One, Concrete Clear Sealer:
a. Concrete to be sealed must have aged a minimum of 28 days prior to sealer b. Immediately prior to applying concrete sealer, the concrete must be thoroughly cleaned. The surface should be swept then scrubbed using rotary floor machine. The surface must be rinsed after cleaning until the rinse water is completely clean. After drying, it should be inspected closely, and additional or spot cleaning should be performed if necessary.

c. Surfaces must be properly prepared as prescribed in manufacturer's instructions.
Surrounding areas and adjacent surfaces must be masked or protected from overspray, spills, tracking, and equipment contact. The work area should be roped off and closed to traffic.

d. Immediately prior to use, the liquid material must be thoroughly power—mixed as described in manufacturer's instructions. Application must be made full strength (un—thinned) at the coverage rate recommended and with equipment recommended

by manufacturer's instructions.
Base sealer must be applied thinly and uniformly. A wet edge should be maintained and overlap controlled. Material should not be over—applied or allowed to puddle or collect in joint indentations.
Base sealer must be allowed to dry completely, normally a minimum of 12 to 48 hours, before it is subjected to temperatures below 42 degrees Fahrenheit or to water from any source.

2. Final Step, Clear Sealer:
a. Immediately prior to use, the liquid material must be thoroughly power—mixed as

described in manufacturer's instructions. Application must be made full strength in—thinned) at the coverage rate recommended and with equipment recommended by manufacturer's instructions.

Hard Tile Sealer shall be applied thinly and uniformly utilizing a conventional fine mist sprayer per manufacturers written instructions.

While spraying clear sealer, broadcast Anti-Skid Floor Media additive using

manufacturer's special application gun, with cover layer of hard tile sealer to coat d. The final coat may be walked on the next day, but five days should elapse before the surface is subjected to heavy use or rough treatment.

Variation in concrete slabs shall not exceed 1/8" in ten feet from true grade.

All exposed concrete, except patio, walkways and floor slabs, shall have a rubbed finish, satisfactory to the Owner's Construction Manager. "White Washing" by use of separately mixed grout will not be permitted.

The Contractor shall prepare and submit for review shop drawings according to the requirements of the General conditions.

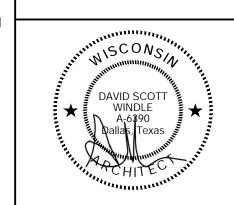
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OWNER REVIEW ISSU

**SPECIFICATIONS** 

JAJ21024

A. Reinforcement shall be accurately placed and securely supported on metal or plastic chairs.

6620 Glenridge Dr. NE Atlanta, Georgia 30342 314.630.5565

ARCHITECT:

A. Underlayment shall be able to be installed from 1/8 tp 1/4 in one pour. It should also be feathered to match existing elevations

B. Underlayment to be applied to a minimum thickness of 1/8 over highest point in the subfloor, with an average typical thinkness of 1/4 C. Underlayment compressive strength shall be 4100 psi after 28 days per ASTM C109/mod (air

D. Underlayment shall be walkable after 2 hours and allow floor covering to be installed after 16

3. DELIVERY, STORAGE AND HANDLING A. Deliver materials in their unopened packages and protect them from extreme temperatures and moisture. Protect liquids from freezing.

#### 4. SITE CONDITIONS

A. Self leveling underlayment is a cementitous material. Observe the basic rules of concrete work Do not install below 50 F surface temperature. Install quickly if floor is warm and follow hot weather precautions available from the manufacturer's Technical Service Department. Never mix with cement or additivies other than manufacturer approved products.

### A. The cement based self leveleing underlayment shall be ARDEX K 25 Self Leveling Underlayment

B. Primer for standard asorbent concrete shall be ARDEX P 51 Primer.

C. Aggregate shall be well graded, washed gravel (1/8 to 1/4 or larger) for use when

underlayment is installed over 1-1/2 thick. D. Water shall be clean, potable, and sufficently cool (not wamer than 70 F).

E. Moisture vapor suppression: ARDEX MC Moisture Control System (ARDEX MC, MC RAPID or MC PLUS). For complete installation instructions, please refer to the appropriate ARDEX MC Mositure Control Technical Brochure

A. Standard mixing ratio: ARDEX K 15 is mixed in 2 bag batches at one time. Mix each bag of ARDEX K 15 (55 lb) with 7 quarts of water per manufacturer's written standards

A. All subfloors must be sound, solid, cleaned and primed.

1. All concrete subfloors must be of adequate strength, clean, and free of all oil, grease, dirt, curing compounds and any substance that might act as a bondbreaker before priming. Mechanically clean if necessary using shot blasting or other. Acid etching and the use of sweeping compunds and solvents are not acceptable.

2. All cracks in the subfloor shall be repaired to mimimize telegraphing through the underlayment B. JOINT PREPARATION

1. Moving joints — honor all expansion and isolation joints up throught he underlayment or Moisture Control System

2. Saw Cuts and Control Joints — fill all non-moving joints with ARDEX FEATHER FINISH or ARDEX For MC Moisture Control System, follow instructions provided in the manufacturer's Moisture

Control Technical Brochure for the treatment of saw cuts, control joints and dormant cracks. 1. Primer for standard absorbent concrete subfloors: Mix ARDEX P 51, 1:1 with water and apply

evenly with a soft push broom. Do not leave any bare spots. Remove all puddles and excess primer. Allow to dry to a clear, thin film (min 3 hours, max 24 hours). Underlayment shall not be applied until the primer is dry. Primer coverage is approximately 400 to 600 sq.

2. Note: When using an ARDEX MC Moisture Control System, the ARDEX MC will act as the prime layer for ARDEX K 15.

## 1. Pour or pump the liquid ARDEX K-15 and spread in place with the ARDEX T-4 Spreader. Use

B. APPLICATION OF UNDERLAYMENT A. INSTALLATION

the ARDEX T-5 smoother for featheredge and touch up. Wear baseball shoes with non metallic cleats to avoid leaving marks in the liquid ARDEX K-15. Underlayment can be walked on in 2-3 hours at 70 F.

#### PROTECTION

A. Prior to the installation of the finish flooring, the surface of the underlayment should be protected from abuse by other trades by the use of plywood, masonite or other suitable protection course.

A. Polished Concrete System, Level 2 (salt and pepper) reveal with a Low Sheen finish. B. Complete installation details are provided in the HTC Superfloor Technical Brochures available a

https://www.htc-floorsystems.com.
HTC Superfloor polished concrete finish includes: bonded abrasive diamond tooling that mechanically grind, hone and polish; combined with chemical treatments to produce a fully refined surface that's dust proof, durable, stain resistant, light reflective and easy to maintain.

. SECTION INCLUDES

A. Products and procedures for the installation of the Polished Concrete System using a multi—step dry mechanical process and accessories indicated, specified or required to complete system and

achieve specified finish. B. Products and procedures for maintenance of the Polished Concrete System.

A. Product Data: Submit Manufacturer's technical literature for each product indicated, specified o required. Include manufacturer's technical data, application instructions, recommendations and MSDS.

B. Installer Qualifications: Data for company, principal personnel, experience, and training. Provide a letter documenting installer's accreditation and certification compliance, as specified under Maintenance Data: Provide manufacturer's instructions for maintenance of installed work, including methods and frequency recommended for maintaining optimum condition under intended use. These instructions should contain precautions against cleaning products and methods, which may be detrimental to finishes and performance.

#### . QUALITY ASSURANCE / WARRANTY

A. Manufacturer Qualifications: The HTC Superfloor Polished Concrete System consists of a process and products engineered and manufactured by HTC—America. Any substitutions are not permitted

B. Installer Qualifications:

1. Installer must be an HTC Superfloor installer for the Polished Concrete System. 2. Installer must be experienced in performing specified work similar in design, products and scope of this project, with a documented track record of successful, in—service performance and with sufficient production capabilities, facilities and personnel to produce specified work.

C. Mock—Up: Before performing the work in this section, an adequate on—site mock—up of the Polished Concrete System representative of specified process, surface, finish, color and joint design/treatments must be installed for review and approval. These mock—ups should be installed using the same Installer personnel who will perform work. Approved mock—ups may become part of completed work, if undisturbed at time of substantial completion

D. Static Coefficient of Friction: A reading of not less than 0.5 for level floor surfaces shall be achieved and documented, as determined by certified an NFSI walkway auditor using the ANSI B—101 quality control test.

. Test Reports: Comply with the provisions of the following specifications and standards, except as otherwise noted or specified, or as accepted or directed by the Owner and/or Architect. All test data shall be recorded and submitted upon completion of job.

1. Section 03 30 00, Cast-In-Place Concrete 2. ASTM E1155, Standard Test Method for Determining Floor Flatness and Levelness using the

3. ASTM D-523, Standard Test Method for Measurement of Gloss of High-Gloss Surfaces by Abridged Goniophotometry 4. ACI 302 1 R-04 Guide for Concrete Floor and Slab Construction

5. ACI 310 R-13 Guide to Decorative Concrete F. Pre-Installation Conference: Prior to the installation of the Polished Concrete System, an on-site conference shall be conducted to review specification requirements.

. Required attendees include the Owner, Architect, General Contractor, Polished Concrete System Subcontractor, and DMS representative.

#### DELIVERY, STORAGE AND HANDLING

A. Deliver all materials in original containers, bearing manufacturer's labels indicating brand name and directions for storage, factory numbered and sealed until ready for installation B. Maintain copies of all chemical MSDS, and Technical data sheets for all products.

C. Store all materials in a dry, climate—controlled environment at a minimum of 55°F (13°C) and maximum of 85°F (29°C).

A. Comply with manufacturers written instructions for substrate temperature and moisture content, ambient temperature and humidity, ventilation and other conditions affecting the floor finish.

C. Inspect the existing substrate and document unsatisfactory conditions in writing. Verify that surfaces and site conditions are ready to receive work.

D. Existing concrete must be cured for a sufficient time period as recommended by manufacturer before the application can begin, typical 28 days.

Protect existing concrete and the new Polished Concrete System from contamination by petroleum, oil, hydraulic fluid, acid and acidic detergents, paint and other liquid dripping from trades and equipment working over these substrates.

Prohibit vehicle parking and pipe cutting operations over concrete before and after the Polished Concrete System installation.

Test existing concrete for moisture vapor transmission according to methods indicated in ASTM F1869. Acceptable results: not more than 5 pounds per 1,000 square feet in 24 hours.

2. Test existing concrete for relative humidity using in situ probes according to ASTM F2170 Acceptable results: not more than 80%.

installation system requiring strict adherence to all specified installation processes, equipment,

result. Any substitutions from the specified products and/or processes will void the system

diamond abrasives, concrete preparation, joint treatment and chemicals to achieve the intended

Planetary Grinder and Polisher, Large Platform: 32 planetary floor polisher. Head pressure of 600 lbs.

2. Micro Polisher/Burnisher: Specific weight and RPM are required to reach temperature of 100 F for application of flooring application.

3. Vacuums: Dust Collection must be designed for filtering of concrete dust. Minimum air speed of 300 CFM for Large and Medium Platform equipment.

a. Hard Concrete: Soft metal bonded diamonds

c. Soft Concrete: Hard metal bonded diamonds

f. Diamond Impregnated Pads - 200, 400, Grit.

Lithium Densifier for standard concrete surfaces as recommended by manufacturer.

Stain and Wear Protection Treatment (low-gloss) as recommended by manufacturer.

Inspect all concrete substrates and conditions under which the Polished Concrete System to b

Verify that all surfaces and site conditions are ready to receive work; document and correct conditions detrimental to timely and proper installation of work. Beginning work constitutes acceptance of substrate condition.

Verify that existing concrete has cured a minimum of 28 days and meets finish and surface profile requirements in Division 03 Section Cast—In—Place Concrete, before installing the

2. Using the appropriate mechanical means and methods, remove existing floor covering

Prepare the existing concrete mechanically via scarification, shot blasting or other means, including diamond grinding by using aggressive, metal bonded Polycrystalline diamonds

(18/20 Grit or 30/40 Grit), to remove all contaminants and provide a sound concrete surface free of laitance, glaze, efflorescence, curing compounds, form—release agents, dust, dirt, grease, oil and other contaminants.

4. Chemical preparation of the substrate is NOT acceptable, including but not limited to acid etching, sweeping compounds, solvents and adhesive removers.

5. Suppress dust during demolition with the use of dust collection equipment to reduce or eliminate airborne concrete and substrate dust.

6. Where existing concrete is cracked, damaged, spalled, not within specified tolerance, or contains unacceptable levels of contaminates or moisture vapor, the Installer shall evaluate conditions and proceed with appropriate HTC Superfloor System components.

1. All joint fill materials shall be installed in accordance with the written recommendations

3. If the joint filling will occur after the polishing process, apply densifier or tape, or soap to the edge of the concrete to keep the joint filler from staining the concrete.

2. For the best results all joints should be filled after the first pass of metal bonded

A. Gloss readings are not to be obtained through the use of any microfilming products, sealers, coatings, enhancers or as the result of resin transfer from resin bond abrasives.

1. Level A Sheen — Low Gloss reading of 30 to 40. 400 grit diamond finish.

Readings shall be taken not less than 10' (3 m) on center in field areas and within 1' (0.3

m) of floor area perimeters. In no case shall a reading be below 2% of specified minimum

1. Level 2 Cut / A slightly deeper cut to expose the sand/fine aggregate and begin to expose the coarse aggregate.

Apply concrete densifier per Manufacturer's written instructions at a rate of 400 square feet per gallon.

11. GRIND/POLISH #5: Continue with resin bond steps to achieve the specified level of gloss.

Perform post job walk to ensure that the Concrete Polishing System has been completed per

Prevent any spills or stains from coming into contact with the floor. Clean any spills that may

N. Section Includes: Work of this Section consists of installing all materials furnished under this Section, including all equipment, labor, services, and incidental items required to complete Work as shown on Drawings and specified in this Section.

1. Miscellaneous Framing and Supports for Work in other Sections to include applications where framing and supports are not specified in other Sections.

2. Steel Pipe Bollards for Site.

3. Metal Handrails.

4. Unistrut Metal Framing.

B. Protect the finished Polished Concrete System from continuing construction and build out as needed by installing a Protective Floor Covering.

1. GRIND/POLISH #1: 30/40 Grit Metal Bonded Diamonds. Cross hatch until level of

D. Inspect to mock-up panel to insure it is satisfactory and meets all of the owner's

and coatings. Adhesives must be removed to their penetrated depth.

Clear surfaces of any debris and construction materials.

provided in the approved manufacturer's technical data.

diamonds, but before any further grinding continues.

To prevent minor damage from light trade traffic during build out of site, Protective Floor Covering for the flooring shall be installed.

a. Color to be selected by architect from manufacturers standards.

d. Transitional Diamonds, — #0, #1, #2 Grit.

b. Medium Concrete: Medium metal bonded diamonds

4. Power generator capable of supplying a minimum output of 45kw and above and capable

a. Metal Bonded Diamonds -30/40, 60/80, Grit of soft, medium and hard bonded

1. Concrete has hardness levels of soft, medium and hard. The hardness of the concrete will determine the required hardness of the metal bonded diamonds:

e. Hybrid Flex-res Resin Bonded Diamonds -50, 100, 200, 400, Grit.

A. The HTC Superfloor Polished Concrete System is an engineered and integrated complete

of generating 480/240 Volt three phase power.

2. Micronized Water Borne High Performance Dye

Diamond Bonded Abrasives

B. CONCRETE TREATMENT CHEMICALS

. FLOORING PROTECTION MATERIALS

PREPARATION

B. Joint Fill (Indoor)

POLISHING

A. CUT LEVEL

B. LEVEL 2 CUT — SALT & PEPPER

SPECIFIED POLISHED FLOOR DETAILS

B. Clean adjacent surfaces and materials.

aggregate exposure has been achieved.

2. Broom and vacuum the floor to remove all residual dust.

5. GRIND/POLISH #2: 60/80 Grit Metal Bonded Diamonds

4. Broom and vacuum the floor to remove all residual dust.

5. GRIND/POLISH #3: Transitional Diamonds, Ceramic Bonded

Broom and vacuum the floor to remove all residual dust.

8. Broom and vacuum the floor to remove all residual dust.

12. Apply Ameripolish Stain Protector per application instructions

Specified Floor Finish shall have a Cut Level of

2. Specified Floor Finish shall have a Gloss Level of

A. Remove all installation materials and any foreign materials from site.

13. High speed propane burnish with natural pad to keep shine low.

10. Allow densifier to dry 1 hour before continuing on to the next step

. GRIND/POLISH #4: 200 Grit Resin Bonded Diamonds.

Prohibit the placement and storage of construction materials over new Polished Concrete System, to include ferrous metals and steel members.

H. Moisture Vapor Testing

warranty.

MATERIALS

A. EQUIPMEN

B. Close areas to traffic during and after Polished Concrete System application for a time period recommended by manufacturer.

A. Welder certificates signed by Contractor certifying welders comply with requirements of this

A. Qualifications:

1. Welding and Welders:

a. Qualify welding processes and welding operators in accordance with AWS DI .1, Structural Welding Code — Steel; DI .3, Structural Welding Code Sheet Steel; and DI .2, Structural Welding Code — Aluminum. b. Certify each welder has satisfactorily passed AWS qualification tests for welding processes involvéd and if pertinent, has undergone recertification.

4. MAIERIALS

A. Ferrous Metals:
1. Metal Surfaces — General: For fabrication of miscellaneous metal work which will be exposed to view, use only materials which are smooth and free of surface blemishes including pitting, seam marks, roller marks, rolled trade names, and roughness.
2. Steel Plates, Shapes and Bars: ASTM A36.
3. Steel Tubing: Cold—formed, ASTM A500: Grade A, unless otherwise indicated or required for design loading.
4. Steel Tubing: Hot—formed, ASTM A501 for exterior installations and where indicated, provide with hot—dip galvanized coating per ASTM A53.
5. Brackets, Flanges and Anchors: Cast or formed metal of same type material and finish as supported rails, unless otherwise indicated.
6. Concrete Inserts:

6. Concrete Inserts:

a. Threaded or wedge—type; galvanized ferrous castings, either malleable iron, ASTM A47, cast steel, ASTM ~7. b. Provide bolts, washers and shims as required, hot—dip galvanized, ASTM Al Unistrut Corporation, Wayne MI (800/521—7730) P1000 Series; 12 Gage, Galvanized Finish; Submit alternate products for approval.
 Provide compatible matching fittings for complete installation indicated on the drawings, and as indicated.
 Threaded Rod: ASTM A575, and A576; Threaded, hot—rolled steel; Sizes as indicated on approved the provided revisions.

shop drawings. D. Grout: factory packaged, non-staining, non-corrosive, non-gaseous grout complying wit Provide grout specifically recommended by manufacturer for interior and exterior applications of type specified in this Section.

a. Provide hot—dipped galvanized fasteners for exterior use or where built into exterior walls. b. Select fasteners for type, grade, and class required.

2.Bolts and Nuts: Regular hexagon—head—type, ASTM A307, Grade A.

3.Lag Bolts: Square—head—type, FS FF—B—561

4.Machine Screws: Cadmium plated steel, FS FF—S—92.

5.Wood Screws: Flat head carbon steel, FS FF—S—I 11.

6.Plain Washers: Round, carbon steel, FS FF—W—92.

7.Drilled—In Expansion Anchors: Comply with FS FF—S—325, Group III (anchors, expansion, non-drilling), Type I (internally threaded tubular expansion anchor); and machine bolts complying with FS FF-B-575, Grade 5.
8.Toggle Bolts: Tumble-wing-type, FS FF-B-588, type, class, and style as required.
9.Lock Washers: Helical-spring-type carbon steel, FS FF-W-84.

**FABRICATION** 

A. General:

1.Form metal fabrications from materials of size, thickness, and shapes indicated, but less than that needed to comply with performance requirements indicated.

2.Work to dimensions indicated or accepted on shop drawings, using proven details of fabrication and support.
3.Use type of materials indicated or specified for various components of each metal 4.Form exposed Work true to line and level with accurate angles and surfaces and straight

sharp edges.
5.Shear and punch metals cleanly and accurately; remove burrs. 6.Ease exposed edges to radius of approximately 1/32 in.
7.Form bent—metal comers to smallest radius possible without causing grain separation or otherwise impairing Work. Remove sharp or rough areas on exposed traffic surfaces.

a. Weld corners and seams continuously, complying with AWS recommendations. b. Exposed Connections: Grind exposed welds smooth and flush to match and blend with adjoining surfaces.

C. Pipe Bollards: Fabricate pipe bollards from Schedule 80 steel pipe

10. Anchorage:

a. Provide for anchorage of type indicated, coordinated with supporting structure.
b. Fabricate and space anchoring devices to provide adequate support for intended use.
B. Miscellaneous Framing and Supports:
1. Provide miscellaneous steel framing and supports which are not part of structur framework, as required to complete Work.

2. Exprising the miscellaneous units to sizes shapes and profiles indicated or if not indicated. 2.Fabricate miscellaneous units to sizes, shapes, and profiles indicated or, if not indicated, of required dimensions to receive adjacent other Work to be retained by framing.

3.Except as otherwise indicated, fabricate from structural steel shapes. plates, and steel bars of welded construction using mitered joints for field connection. drill and tap units to receive hardware and similar items.

### INSTALLATION

QUALITY ASSURANCE

MATERIALS

A. General:

1. Fastening to In—Place Construction:
a. Provide anchorage devices and fasteners where necessary for securing miscellaneous metal and the in-place construction. b. Include threaded fasteners for concrete and masonry inserts, toggle bolts, through bolts, lag

bolts, wood screws, and other connectors as required.

2.Cutting, Fitting, and Placement:
a. Perform as required for installation of miscellaneous metal fabrications. b. Set Work accurately in location, alignment, and elevation, level. true and free of rack. measured from established lines and levels.

Provide temporary bracing or anchors in formwork for items which are to be built into concrete, masonry, or similar construction,

d. Fit exposed connections accurately together to form tight hairline joints.
e. Weld connections which are not to be left as exposed joints, but cannot be shop welded because of shipping size limitations.

Grind exposed joints smooth and touchup shop paint coat.

Do not weld, cut, or abrade surfaces of exterior units which have been hot—dip galvanized.

after fabrication and are intended for bolted or screwed field connections.

3.Corrosion Protection: Coat concealed surfaces of aluminum that will come into contact with grout, concrete, masonry, wood, or dissimilar metals with heavy coat of bituminous paint or zinc chromate primer. Unless indicated otherwise, install Unistrut items plumb and level. Install elements accurately in

the positions indicated.

2.Coordinate layout with Landlord requirements; Review overhead support locations with the Landlord prior to attempting installation ADJUSTING AND CLEANING
A. Touch—Up Painting.
1.Immediately after erection, clean field welds, bolted connections, and abraded areas of

shop paint, and paint exposed areas with same material as used for shop painting. 2.Apply by brush or spray to provide mm. 2.0 mit DFT.

### ivision 06 - Wood and Plastics ection 06100 - Rough Carpentry (Blocking, etc.

SECTION INCLUDES Miscellaneous wood blocking and framing as detailed on drawings.
Preservative and Fire—Retardant treatment of wood. Miscellaneous framing and concealed wood blocking for support of toilet and bath accessories wall cabinets, wood trim, and tables.

REFERENCES
A. AWPA C20 — Structural Lumber —— Fire Retardant Treatment by Pressure Processes; American Wood-Preservers' Association; 2002. B. AWPA U1 - Use Category System: User Specification for Treated Wood; America Wood—Preservers' Association; 2005. PS 1 — Construction and Industrial Plywood; National Institute of Standards and Technology

(Department of Commerce): 1995. D. PS 20 - American Softwood Lumber Standard; National Institute of Standards and Technology (Department of Commerce); 2005.

E. SPIB (GR) — Grading Rules; Southern Pine Inspection Bureau, Inc.; 2002.
F. WCLB (GR) — Standard Grading Rules for West Coast Lumber No. 17; West Coast Lumber Inspection Bureau; 2004.
G. WWPA G-5 — Western Lumber Grading Rules; Western Wood Products Association; 2005. . QUALITY ASSURANCE

A. Lumber: Comply with PS 20 and approved grading rules and inspection agencies.

B. Exposed—to—View Rough Carpentry: Submit manufacturer's certificate that products meet or exceed specified requirements, in lieu of grade stamping.

C. Preservative—Treated Wood: Provide lumber and plywood marked or stamped by an ALSC-accredited testing agency, certifying level and type of treatment in accordance with AWPA

DIMENSION LUMBER FOR CONCEALED APPLICATIONS

A. Sizes: Nominal sizes as indicated on drawings, S4S unless rough lumber is specifically indicated otherwise.

B. Moisture Content: S-dry or MC19.

C. Joist, Rafter, and Small Beam Framing (2 x 6 through 4 x 16 ):

1. Species: Douglas Fir, Southern Pine, Spruce—Pine—Fir (south), Western Cedars, or Western Woods. Grade: No. 2.

D. Miscellaneous Blocking, Furring, and Nailers:
1. Lumber: S4S, No. 2 or Standard Grade. EXPOSED DIMENSION LUMBER

Sizes: Nominal sizes as indicated on drawings, S4S. Moisture Content: S—dry or MC19. C. Post, Ledger, Joist, Rafter, and Small Beam Framing (2 x 6 through 4 x 16 ),:
1. Species: Southern Pine.
2. Grade: No. 1.

A. Concealed Performance—Rated Structural Use Panels:

1. General: where structural use panels are indicated for the following concealed types of applications, provide APA performance—rated panels complying with requirements designated under each application for grade, span rating, exposure—durability classifications, edge Wall Sheathing: APA RATED SHEATHING, exterior with span rating to suit stud spacing. B. Other Applications:

1. Concealed Plywood: PS 1, C—C Plugged, exterior grade.
2. Exposed Plywood: PS 1, A—D, interior grade.
3. Electrical Component Mounting: APA rated sheathing, fire retardant treated.

**ACCESSORIES** 

CONSTRUCTION PANELS

. Metal and Finish: Hot-dipped galvanized steel per ASTM A 153/A 153M for high humidity and preservative—treated wood locations, unfinished steel elsewhere.
. Nails, Wire, Brads, and Staples: FS FF-N-105.
. Power Driven Fasteners: National Evaluation Report NER-272

Power Driven Fasteners: National Evaluation Report NER-272
Wood Screws: ANSI B18.6.1.
Lag Bolts: ANSI B18.2.1
Bolts: Steel bolts complying with ASTM A307, Grade A; with ASTM A563 hex nuts and,

B. Joist Hangers: Hot dipped galvanized steel, sized to suit framing conditions.

A. Treated Lumber and Plywood: Comply with requirements of AWPA U1 - Use Category System for wood treatments détermined by use categories, expected service conditions, and specific B. Fire Retardant Treatment: AWPA Treatment C20, Exterior Type, chemical treatment pressure impregnated; capable of providing a maximum flame spread/smoke development rating of 25 30 minute duration.

Preservative Pressure Treatment of Lumber Above Grade: AWPA Use Category UC3B, Commodity Specification A (Treatment C2) using waterborne preservative to 0.25 lb/cu ft retention.

1. Kiln dry lumber after treatment to maximum moisture content of 19 percent.

2. Treat lumber in contact with roofing, flashing, or waterproofing.

3. Treat lumber in contact with masonry or concrete.

Preserve Treatment of Lumber in Contact with Social and Concrete: AWPA Treatment C2 using Pressure Treatment of Lumber in Contact with Soil and Concrete: AWPA Treatment C2 using preservative to 0.4 lb/cu ft retention.

1. Preservative for Field Application to Cut Surfaces: As recommended by manufacturer of factory treatment chemicals for brush—application in the field.

FRAMING INSTALLATION A. Set framing / blocking members level, plumb, and true to line. Discard pieces with defects that would lower required strength or result in unacceptable appearance of exposed members.

B. Make provisions for temporary construction loads and provide temporary bracing sufficient to

maintain structure in true alignment and safe condition until completion of erection and installation of permanent bracing. Comply with member sizes, spacing, and configurations indicated, and fastener size and spacing indicated, but not less than required by applicable codes and AFPA Wood Frame Construction

D. Install framing / blocking members full length without splices unless otherwise specifically ection 06200 - Finish Carpe

SECTION INCLUDES A. Finish carpentry items

A. AWI/AWMAC (QSI) — Architectural Woodwork Quality Standards Illustrated; Architectural Woodwork Institute and Architectural Woodwork Manufacturers Association of Canada; 2006, 8th Ed., Version AWPA C2 - Lumber, Timber, Bridge Ties and Mine Ties -- Preservative Treatment by Pressure Processes; American Wood-Preservers' Association; 2002.

QUALITY ASSURANCE
 A. Perform work in accordance with AWI Architectural Woodwork Quality Standards Illustrated, Custom grade.

. DELIVERY, STORAGE, AND HANDLING A. Protect work from moisture damage

. LUMBER MATERIALS A. Softwood Lumber: Southern Yellow Pine #2, C&BTR
Texture: Surfaced smooth, both sides

B. Hardwood Lumber: Species as indicated on the drawings Texture: Surfaced smooth, both sides

A. Adhesive: Type recommended by laminate manufacturer to suit application

A. Hot dipped galvanized for exterior and high humidity locations, untreated steel elsewhere B. Concealed Joint Fasteners: Threaded steel. . WOOD TREATMENT A. Wood Preservative by Pressure Treatment (PT Type): AWPA Treatment C2 using water borne preservative with 0.25 percent retainage.

A. Shop assemble work for delivery to site, permitting passage through building openings.

B. When necessary to cut and fit on site, provide materials with ample allowance for cutting. Provide trim for scribing and site cutting

Set and secure materials and components in place, plumb and level. B. Carefully scribe work abutting other components, with maximum gaps of 1/32 inch. Do not use additional overlay trim to conceal larger gaps.

A. Maximum Variation from True Position: 1/16 inch B. Maximum Offset from True Alignment with Abutting Materials: 1/32 inch.

Standing and Running Trim:
a. Species and Grade: Western Red Cedar, WWPA or WCLIB, B & Better — 1 & 2
Clear Vertical Grain Texture: Surfaced Furnish surfaced lumber for trim indicated to receive painted or stained finish.

Standing and Running Trim and Rails — Transparent Finish:

a. Quality Standard: Comply with AWI 300 Premium Grade

b. Backs: Back out or groove backs of flat trim members, kerf backs of other wide

flat members except for members with ends exposed in finished work.

Casings: Assemble in plant except where limitation of access to place of installation requires field assembly. Assemble in plant to maximum extent possible Miter corners in plant and prepare for field assembly with bolted fittings

designed to puil connections together e. Wood Species: As noted on drawings. Interior Standing and Running Trim and Rails — Opaque Finish a. Quality Standard: Comply with AWI 300 Custom Grade

Backs: Back out or groove backs of flat trim members, kerf backs of other wide, flat members except for members with ends exposed in finished work. Casings: Assemble in plant except where limitation of access to place of installation requires field assembly. d. Moldinas

1) Assemble in plant to maximum extent possible. Miter corners in plant and prepare for field assembly with bolted fittings designed to pull connections together. e. Wood Species: Poplar 3. Wood Shelves:

a. Solid wood for opaque finish (lumber boards, edge-glued where required to produce widths indicated): 1) Grade: Custom

) Lumber Species: Poplar b. Panel product for transparent finish (wood veneer laminated over various cores): ) Grade: Premium

Matching of adjacent veneer leaves: Book Match Veneer m atching within panel face: Running Match ) Edge Treatment: Lumber matching wood veneer face for species and cut. Edge Treatment: Wood veneer matching veneer face for species and cut. High Pressure Decorative Laminate:

) Grade: Premium Laminate Cladding — Horizontal Surfaces: High pressure decorative laminate provide materials and products resulting in colors and textures of exposed laminate surfaces matching Architect's samples. 3) Grade: GP-50

Lumber Species: As noted on drawings.

) Grain Direction: Parallel to longest dimension ) Edge Treatment: Same as laminate cladding on horizontal surfaces. Edge Treatment: Lumber edge for transparent finish matching wood species and cut on cabinet surfaces.

ection 06410 - Custom Cabinets . SECTION INCLUDES
A. Specially fabricated cabinet units and hardware.

REFERENCES
A. ANSI A135.4 — American National Standard for Basic Hardboard; 2004
B. ANSI A208.1 — American National Standard for Particleboard; 1999. AWI/AWMAC (QSI) — Architectural Woodwork Quality Standards Illustrated; Architectural Woodwork Institute and Architectural Woodwork Manufacturers Association of Canada; 2006, 8th Ed., Version GSA CID A—A—1936 — Adhesive, Contact, Neoprene Rubber; Federal Specifications and Standards; Revision A. 1996.

Revision A. 1996. NEMA LD 3 — High—Pressure Decorative Laminates; National Electrical Manufacturers Association; — Construction and Industrial Plywood; National Institute of Standards and Technology (Department of Commerce); 1995. A. Perform work in accordance with AWI/AWMAC Architectural Woodwork Quality Standards Illustrated, Custom quality, unless other quality is indicated for specific items.

A. Hardwood Lumber: NHLA; Graded in accordance with AWI/AWMAC Architectural Woodwork Quality Standards Illustrated, Grade I/Premium; average moisture content of 5-10 percent; species as Exposed Surfaces: As specified on the drawings. Semi—Exposed Surfaces: As specified on the drawings. Concealed Surfaces: Species poplar.

 PANEL MATERIALS
 A. Exposed Surfaces: NIST PS 1; APA A—A Grade, plain—sliced face veneer as indicated on drawings.
 B. Hardboard: AHA A135.4; Pressed wood fiber with resin binder Class 1 — Tempered 1/4 board: AHA A135.4; Pressed wood fiber with resin binder, Class 1 — Tempered, 1/4 inch , smooth two sides (S2S); use for drawer bottoms, dust panels, and other components

Adhesive: Type recommended by fabricator to suit application.
Fasteners: Size and type to suit application.
Bolts, Nuts, Washers, Lags, Pins, and Screws: Of size and type to suit application; galvanized or chrome—plated finish in concealed locations and stainless steel, or chrome—plated finish in exposed locations.
Concealed Joint Fasteners: Threaded steel.
Grommets: Standard plastic, painted metal, or rubber grommets for cut—outs, in color to

A. Adjustable Shelf Supports: Standard back—mounted system using surface mounted metal shelf standards and coordinated cantilevered shelf brackets, satin chrome finish, for nominal 1 inch spacing adjustments.

B. Drawer and Door Pulls: Top Knobs M1165 Nouveau III Square Black Knobs
C. Çabinet Locks: First Watch 1385—VB, Keyed cylinder, master keyed, steel with oil rubbed bronze

Catches: L—EP592—P, 15 lb Double Magnetic Catch, Bronze. Drawer\_Slides: 1. Type: Standard extension.
2. Static Load Capacity: Commercial grade.
3. Mounting: Side mounted.
4. Stops: Integral type.
4. Hinges: Wurth FE12—STB 1 ½ Piano Hinge, Statuary Bronze.

**FABRICATION** ABRICATION

Cabinet Style: Flush overlay.

Drawer Construction Technique: Dovetail joints.

Assembly: Shop assemble cabinets for delivery to site in units easily handled and to permit passage through building openings.

D. Edging: Fit shelves, doors, and exposed edges with specified edging. Do not use more than

D. Edging: Fit snelves, doors, and exposed eages with specified eaging. Do not use more than one piece for any single length.

E. Fitting: When necessary to cut and fit on site, provide materials with ample allowance for cutting. Provide matching trim for scribing and site cutting.

F. Plastic Laminate: Apply plastic laminate finish in full uninterrupted sheets consistent with manufactured sizes. Fit corners and joints hairline; secure with concealed fasteners. Slightly bevel arises. Locate counter butt joints minimum 2 feet from sink cut—outs.

1. Apply laminate backing sheet to reverse side of plastic laminate finished surfaces.

2. Cap exposed plastic laminate finish edges with material of same finish and pattern.

G. Matching Wood Grain: Comply with requirements of quality standard for specified Grade and as follows:

1. Provide center matched panels at each elevation.
2. Provide sequence matching across each elevation.
3. Carry figure of cabinet fronts to toe kicks.

Mechanically fasten back splash to countertops with steel brackets at 16 inches on center.

Provide cutouts for plumbing fixtures. Verify locations of cutouts from on—site dimensions.

Set and secure custom cabinets in place, assuring that they are rigid, plumb, and level.
Use fixture attachments in concealed locations for wall mounted components.
Use concealed joint fasteners to align and secure adjoining cabinet units and countertops.

Carefully scribe casework abutting other components, with maximum gaps of 1/32 inch. Do not use additional overlay trim for this purpose.

Secure cabinets to floor using appropriate angles and anchorages.
Countersink anchorage devices at exposed locations. Conceal with solid wood plugs of species to match surrounding wood; finish flush with surrounding surfaces.

Adjust installed work. 3. Adjust moving or operating parts to function smoothly and correctly.

ection 0661<u>0 - Quartz Surfacing</u> SECTION INCLUDES
A. Countertops

REFERENCE STANDARDS
A. ASTM International:
1. C97 Absorption and Bulk Specific Gravity of Dimension Stone

2. A118.4 - Latex-Portland Cement Mortar

2. C99 Modulus of Rupture of Dimension Stone 3. C170 Compressive Strength of Dimension Stone

4. C501 Relative Resistance to Wear of Unglazed Tile to Taber Abraser 5. C484 Thermal Shock Resistance of Grazed Ceramic Tile 6. C531 Linear Shrinkage and Coefficient of Thermal Expansion of Chemical Resistan Mortars, Grouts, Monolithic Surfacings and Polymer Concrete.

7. C648 Breaking Strength of Ceramic Tile 8. C1026 Resistance of Ceramic Tile to Freeze Thaw Cycling.

9. E84 Surface Burning Characteristics of Building Materials. B. American National Standards Institute (ANSI) 1. A108.5 Installation of Ceramic Tile with a Dry Set Portland Cement Mortar Latex Portland Cement Mortar.

1. Quartz Surfacing; Submit manufacturer's product data. 2. Quartz Surfacing; Submit manufacturer's care and maintenance data.

B. Samples: 1. Submit two 3 x 3 quartz samples showing specified color and finish. C. Shop Drawings: Drawings to include countertop layout, dimensions, required locations of support and blocking members, edge profiles, cutouts and attachments.

. QUALITY ASSURANCE A. Delivery Storage and Handling:

Packaging, Shipping, Handling and Unloading; Observe manufacturer's recommendations and handle in a manner to prevent breakage. Brace parts if necessary. Transport in the near vertical position with finished face toward finished face. Do not allow finished surfaces to rub during shipping and handling.

. Manufacturers A. Acceptable manufacturer 1. L.G. Ḥausys Quartz Surfacing http://www.lghausys.com

C. Identification: Material shall be labeled with manufacturer's identifying mark. D. Color: See interior Finish Schedule

Exposed Edges and Corners: Countertops profile – Mitered Accessories

A. Mounting Adhesive: Provide structural grade 50 year silicone or epoxy adhesive.

2. Acceptable epoxy manufacturers a. Cambria Two Part Acrylic Adhesive b. Akemi North America c. Bonstone Material Corporation

d. Tenax USA B. Quartz Surface Adhesive . Provide epoxy adhesive of a type recommended by manufacturer for application and conditions of use.

2. Acceptable manufacturers: a. Akemi North America b. Bonstone Material Corporation

c. Tenax USA C. Joint Sealant: 1. Clear sealant of type recommended by manufacturer for application and use.

2. Provide anti-bacterial type in toilet, food preparation. 3. Acceptable manufacturers:

a. Dow Corning b. GE Sealants D. Solvent: Denatured alcohol for cleaning quartz surfacing to assure adhesion of adhesives and E. Cleaning Agents: Mild soap and water.

**FABRICATION** 

A. Fabricator: 1. Fabricator shall be by a certified Fabricator, certified in writing by Manufacturer.

B. Layout: 1. Layout surface to minimize joints and avoid L—shaped pieces of quartz surfacing. Layout and fabricate with hairline joints.

. Cutouts shall have a minimum 3/8 inch (10 mm) radius. 2. Where edges of cutouts will be exposed in finished work; polish edges.

PRE-INSTALLATION EXAMINATION

1. Verify dimensions by field measurements prior to installation. Verify that substrates supporting quartz surfaces are plumb, level and flat to within 1/8 inch in 10 feet and that all necessary supports and blocking are in place. 3. Base Cabinets shall be secured to adjoining units and back wall.

A. Install materials in accordance with manufacturer's instructions and approved shop drawings.

B. Preliminary Installation 1. Position materials to verify the correct size.

 If size adjustments or additional fabrication is necessary, use water cooled tools. Protect jobsite and surface from dust and water. Perform work away from installation site if possible. Allow gaps for expansion of not less 1/8 inch per ten feet when installed between walls or other fixed structure.

C. Permanent Installation: After verification of fit and finish, clean substrate; remove loose and foreign matter which
may interfere with adhesion. Clean quartz surface backside & joints with denatured

3. Vertical surface: Apply continuous bead of mounting adhesive around perimeter. In addition, apply ¼ inch mounting adhesive bead every 8 inches on vertical center. 4. Install quartz surfacing plumb, level, square, and flat to within 1/8 inch in ten feet, non-cumulative.

D. Joints: 1. Joints between Adjacent Pieces of Quartz Surfacing: a. Joints shall be flush, tight fitting, level and neat.

5. Align adjacent pieces in same plane.

c. Fill joints level to polished surface. d. Secure adjacent quartz surfaces with vacuum clamps until adhesive hardens. 2. Joints Between Quartz Surface and wall: a. Seal joints with 50 year silicone sealant.

b. Securely join adjacent pieces with two-part Adhesive.

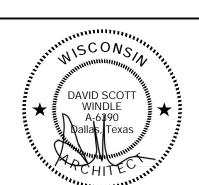
**DAVID SCOTT** WINDLE, AIA

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**SPECIFICATIONS** 

.31.22 PERMIT ISSUE

HEET TITLE:

A9.2

JAJ21024

OCUS Brands 620 Glenridge Dr. NE Atlanta, Georgia 30342 314.630.5565 www.focusbrands.com vision 07 - Thermal and Moisture Protection

ction 07212 - Board and Batt Insulation

A. Install pass—thru windows in accordance with manufacturer's instructions.
B. Install pass—thru windows plumb, level, square, true to line, and without warp or rack.
C. Install pass—thru window components weathertight.
D. Anchor pass—thru windows securely in place to supports. Use attachment methods permitting adjustment for construction tolerances, irregularities, glignment, and expansion and contraction.
E. Separate aluminum from other metal surfaces with bituminous coatings or other means approved by Architect.
F. Sheet Metal Flashing: Install sheet metal flashing as specified in Section 07620.
G. Joint Sealants: Install joint sealants as specified in Section 07900.

). DELIVERY STORAGE AND HANDLING

15. PROTECTION

A. Protect installed pass—thru windows to ensure that, except for normal weathering, pass—thru windows will be without damage or deterioration at time of substantial com Section 08710 - Door Hardware . SECTION INCLUDES A. Hardware for wood and hollow steel doors. Install removable stops, with spacer strips inserted between glazing and applied stops, 1/4 inch below sight line. Place glazing tape on glazing pane or unit with tape flush with sight line. Fill gap between glazing and stop with sealant to depth equal to bite of frame on glazing, but not more than 3/8 inch below sight line. Apply cap bead of sealant along void between the stop and the glazing, to uniform line, flush with sight line. Tool or wipe sealant surface smooth.

 REFERENCES

 A. ANSI/ICC A117.1 — American National Standard for Accessible and Usable Buildings and Facilities; International Code Council; 2003.
 B. BHMA A156.1 thru 156.21 — Builders Hardware Manufacturers Association, Inc.; 2006
 C. DHI A115 Series — Specifications for Steel Doors and Frame Preparation for Hardware; Door and Hardware Institute; 2000.
 D. DHI A115W Series — Specifications for Wood Door and Frame Preparation for Hardware; Door and Hardware Institute; 2000.
 E. DHI (LOCS) — Recommended Locations for Architectural Hardware for Standard Steel Doors and Frames; Door and Hardware Institute; 2004.
 F. DHI WDHS.3 — Recommended Locations for Architectural Hardware for Flush Wood Doors; Door and Hardware Institute; 1996.

 S. SUBMITTALS

A. See Section 01300 — Administrative Requirements, for submittal procedures.

B. Shop Drawings:

1. Indicate locations and mounting heights of each type of hardware, schedules, catalog cuts, electrical characteristics and connection requirements. Submit manufacturer's parts lists and templates.' Submit manufacturer's parts lists and templates.
 Samples:

 1. Submit 1 sample of hinge, latchset, lockset, closer,, and closer illustrating style, color, and finish.
 2. Samples will be returned to supplier.
 2. Maintenance Data: Include data on operating hardware, lubrication requirements, and inspection procedures related to preventative maintenance.
 4. Keys: Deliver with identifying tags to Owner by security shipment direct from hardware supplier.
 4. Warranty: Submit manufacturer's warranty and ensure that forms have been completed in Warranty: Submit manufacturer's warranty and ensure that forms have been completed in Owner's name and registered with manufacturer. COORDINATION
A. Coordinate the work with other directly affected sections involving manufacture or fabrication of internal reinforcement for door hardware. 6. GENERAL REQUIREMENTS FOR DOOR HARDWARE PRODUCTS

A. Provide products that comply with the following:

1. Applicable provisions of Federal, State, and local codes.

2. Provide products from the manufacturers and finish listed in the schedule located in the construction documents. No substitution allowed without written approval

B. Finishes: Identified in schedule located in the construction documents. /. KEYING
A. Door Locks: Master keyed.
1. Include construction keying and control keying with removable core cylinders.
B. Supply keys in the following quantities:
4 master keys. a. Stamp all permanent master keys with a set number and "DO NOT DUP" 4 construction keys.
4 control keys and 4 extra cylinder cores.
2 change keys for each lock.
Identify permanent keys in envelopes and deliver to the Owner. Re-key entire building per Owner's direction. 8. KEY CABINET

A. Cabinet Construction: Sheet steel construction, piano hinged door with cylinder type lock master keyed to building system.
B. Cabinet Size: Size for project keys plus 50 percent growth.
C. Hooks for 50 keys.
D. Horizontal plastic strips for key hook labelling with clear plastic strip cover over labels.
E. Finish: Baked enamel, color as selected. . EXAMINATION A. Verify that doors and frames are ready to receive work and dimensions are as indicated on Install hardware in accordance with manufacturer's instructions and applicable codes.

Use templates provided by hardware item manufacturer.

Mounting heights for hardware from finished floor to center line of hardware item:

1. For steel doors and frames: Comply with DHI "Recommended Locations for Architectural Hardware for Steel Doors and Frames."

2. For wood doors: Comply with DHI "Recommended Locations for Architectural Hardware for Wood Flush Doors." A. Adjust work under provisions of Section 01700 B. Adjust hardware for smooth operation. ection 08800 - Glazing SECTION INCLUDES A. Glass.B. Glazing compounds and accessories. 2. REFERENCES
 A. 16 CFR 1201 — Safety Standard for Architectural Glazing Materials; current edition.
 B. ASTM C 864 — Standard Specification for Dense Elastomeric Compression Seal Gaskets, Setting Blocks, and Spacers; 2005.
 C. ASTM C 920 — Standard Specification for Elastomeric Joint Sealants; 2005.
 D. ASTM C 1036 — Standard Specification for Flat Glass; 2001.
 E. ASTM C 1048 — Standard Specification for Heat—Treated Flat Glass—Kind HS, Kind FT Coated and Uncoated Glass; 2004.
 F. ASTM C 1193 — Standard Guide for Use of Joint Sealants; 2005a.
 G. ASTM E 2190 — Standard Specification for Insulating Glass Unit Performance and Evaluation; 2002 PERFORMANCE REQUIREMENTS Provide glass and glazing materials for continuity of building enclosure vapor retarder and air in conjunction with vapor retarder and joint sealer materials described in other sections. To maintain a continuous air barrier and vapor retarder throughout the glazed assembly from glass pane to heel bead of glazing sealant. F. SUBMITTALS
 A. See Section 01300 — Administrative Requirements, for submittal procedures.
 B. Product Data on Glass Types: Provide structural, physical and environmental characteristics, size limitations, special handling or installation requirements.
 C. Product Data on Glazing Compounds: Provide chemical, functional, and environmental characteristics, limitations, special application requirements. Identify available colors.
 D. Certificates: Certify that products meet or exceed specified requirements. A. Perform Work in accordance with GANA Glazing Manual and FGMA Sealant Manual for glazing installation methods 5. FLAT GLASS MATERIALS A. Clear Float Glass: Clear, fully tempered. 1. Comply with ASTM C 1036, Type I, transparent flat, Class 1 clear, Quality Q3 (glazing Comply with ASTM C 1048. 6 mm minimum thick. Safety Glass: Clear; fully tempered with horizontal tempering. 1. Comply with ASTM C 1036, Type I, transparent flat, Class 1 clear, Quality Q3 (glazing select) and ASTM C 1048.

2. Comply with 16 CFR 1201 test requirements for Category II. . SEALED INSULATING GLASS MATERIALS A. Insulated Glass Units: Double pane, Low E, with glass to elastomer edge seal.

1. Durability: Certified by an independent testing agency to comply with ASTM E 2190.

2. Purge interpane space with dry hermetic air.

3. Total unit thickness of 1 inch minimum. A. Butyl Sealant: Single component; ASTM C 920, Grade NS, Class 12-1/2, Uses M and A; Shore A hardness of 10 to 20; black color; non-skinning. B. Silicone Sealant: Single component; neutral curing: capable of water immersion without loss or properties; non-bleeding, non-staining; ASTM C 920, Type S, Grade NS, Class 25, Uses M, A, and G; cured Shore A hardness of 15 to 25; color as selected. A. Setting Blocks: Neoprene, 80 to 90 Shore A durometer hardness, ASTM C 864 Option I. Length of 0.1 inch for each square foot of glazing or minimum 4 inch x width of glazing rabbet space minus 1/16 inch x height to suit glazing method and pane weight and area.

B. Spacer Shims: Neoprene, 50 to 60 Shore A durometer hardness, ASTM C 864 Option I. Minimum 3 inch long x one half the height of the glazing stop x thickness to suit application, self adhesive on one face. Glazing Tape: Preformed butyl compound with integral resilient tube spacing device; 10 to 15 Shore A durometer hardness; coiled on release paper; size as recommended by glass manufacturer; black color. 1. Manufacturers: a Pecora Corporation: www.pecora.com. Tremco, Inc: www.tremcosealants.com.
Substitutions: Refer to Section 01600 — Product Requirements. D. Glazing Gaskets: Resilient silicone extruded shape to suit glazing channel retaining slot; ASTM C 864 Option I; black color. E. Glazina Clips: Manufacturer's standard type. A. Prime surfaces scheduled to receive sealant.

B. Install sealants in accordance with ASTM C 1193 and FGMA Sealant Manual. C. Install sealant in accordance with manufacturer's instructions. . INSTALLATION - EXTERIOR WET/DRY METHOD (PREFORMED TAPE AND SEALANT) A. Cut glazing tape to length and set against permanent stops, 3/16 inch below sight line. Seal corners by butting tape and dabbing with butyl sealant.

B. Apply heel bead of butyl sealant along intersection of permanent stop with frame ensuring full perimeter seal between glass and frame to complete the continuity of the air and vapor seal.

C. Place setting blocks at 1/4 points with edge block no more than 6 inches from corners.

D. Rest glazing on setting blocks and push against tape and heel bead of sealant with sufficient pressure to attain full contact at perimeter of pane or glass unit.

ADJUSTING

A. Adjust doors to be weather tight in closed position.

B. Adjust doors and operating hardware to function properly and for smooth operation without

INSTALLATION — INTERIOR DRY METHOD (TAPE AND TAPE) ARCHITECT: A. Cut glazing tape to length and set against permanent stops, projecting 1/16 inch (1.6 mm) above sight line. . Place setting blocks at 1/4 points with edge block no more than 6 inches from corners. . Rest glazing on setting blocks and push against tape for full contact at perimeter of pane or DAVID SCOTT D. Place glazing tape on free perimeter of glazing in same manner described above.

Install removable stop without displacement of tape. Exert pressure on tape for full continuous contact. WINDLE, AIA F. Knife trim protruding tape. 6201 CAMPUS CIRCLE DRIVE E IRVING, TX 75063 PHONE 972.870.1288 Remove glazing materials from finish surfaces.

Remove labels after Work is complete. E-MAIL scottw@idstudio4.com C. Clean glass and adjacent surfaces. CORPORATE -. PROTECTION A. After installation, mark pane with an 'X' by using removable plastic tape or paste; do not mark heat absorbing or reflective glass units. **FOCUS Brands** 5620 Glenridge Dr. N Atlanta, Georgia 30342 314.630.5565 SECTION INCLUDES Formed metal stud framing Framing accessories www.focusbrands.com Veneer Systems supported by Stud Wall Metal Framing Section 05500: Metal Fabrications Section 07212: Batt and Blanket Insulation Section 09260: Gypsum Board Systems NOONS DAVID SCOTT Standard specification for general requirements for steel sheet, zinc—coated (galvanized) by the hot—dip process.

ASTM C645 — Standard specification for non—load (axial) bearing steel studs, runners (track), and rigid furring channels for screw application of gypsum board.

ASTM C754 — Standard specification for installation of steel framing members to receive WINDLE A-6390 F screw—attached gypsum board. ASTM C1002 — Standard specification for steel drill screws for the application of gypsum board or metal plaster bases. SYSTEM DESCRIPTION A. Maximum allowable deflection: 1:240 span.

B. Wall system:

1. Design to provide for movement of components without damage, failure of joint seals, undue stress on fasteners, or other detrimental effects when subject to seasonal or cyclic day/night temperature ranges.

2. Design system to accommodate construction tolerances, deflection of building structural members, and clearances of intended openings.

Section 01300 — Submittals: Procedures for Submittals. Shop drawings:

1. Indicate component details, stud layout, framed openings, anchorage to structure, type and location of fasteners, and accessories or items required of other related work.

2. Describe method for securing studs or tracks, splicing and for blocking and reinforcement to framing connections.

3. Provide calculations for loadings and stresses of exterior walls.

E. Product data: Provide data describing standard framing member materials and finish, product criteria load charts, and limitations. A. Perform work in accordance with ASTM C754.

B. Installer qualifications: Company specializing in performing the work of this section with minimum five years' experience.

C. Materials shall be furnished by one manufacturer only A. The drawings were prepared, and this specification written on the basis of using the products of United States Gypsum Company, Chicago, Illinois. It is not the intent to limit competitive bidding. Products with equal characteristics by other manufacturers are acceptable under the conditions of these specifications. **Z** Z STUD FRAMING MATERIALS A. Framing System Components: ASTM C645.

B. Studs: ASTM A525, Coating Class G-90, non-load bearing rolled steel, channel shaped, punched for utility access, as follows:

1. Depth: 3-5/8 and 6 inches.
2. Thickness: 20 gauge unless noted otherwise.

C. Tracks and Headers: Same material and thickness as studs, bent leg retainer notched to receive stude. E A ISIN receive studs.
Furring and Bracing Members: Of same material as studs; thickness to suit purpose.
Fasteners: ASTM C1002, self-drilling, self tapping screws.
Touch-up Primer for Galvanized Surfaces: SSPC-Paint 20, Type II organic, zinc rich. 'AUN' WISCO TWISTED PRETZEL, CESAR HERNANDEZ 3. FINISHES
A. Studs: Galvanize to G90 coating class.
B. Tracks and Headers: Galvanize to G90 coating class.
C. Accessories: Same finish as framing members. IBA/ SON A. Deliver materials in original unopened packages and store in enclosed shelter providing protection from damage and exposure to the elements. Remove damaged or deteriorated AMI ADIS Align and secure top and bottom runners at 24 inches OC. Install studs vertically at 24 inches OC.
Align stud web openings horizontally. **M** 650 Secure studs to tracks using fastener Stud splicing is not permissible. Fabricate corners using a minimum of three studs.

Double stud at wall openings, door and window jambs, not more than 2 inches from each side of openings. Brace stud framing system rigid. Coordinate erection of studs with requirements of door and window frames, install supports and Ma J. Grouting: Spot grout frames at jamb anchor clips before panel erection.

K. Coordinate installation of wood bucks, anchors, and wood blocking with electrical and mechanical work to be placed within or behind stud framing.

L. Blocking: Secure wood blocking to studs. Install blocking for support of plumbing fixtures, toilet partitions, wall cabinets, toilet accessories, hardware, and opening frames.

M. Refer to drawings for indication of partitions extending to finished ceiling only and for partitions extending through the ceiling to the structure above. Maintain clearance under structural building members to avoid deflection transfer to studs. Provide extended leg ceiling runners. AumüleAmm Con Contraction N. Metal Framing Erection (Ceilings)

1. Small Areas: Attach runners at ceiling height, through gypsum panels, to each partition stud. Insert steel studs in runner and attach each end. Install stud cross—bracing over stud framing space 48 inches OC and attach to each framing stud. At openings that interrupt ceiling, install additional cross reinforcing to maintain structural integrity of framing.
2. Large Areas: Install hanger wires, carrying members, furring channels and reinforcing at openings, in accord with systems manufacturer's specifications. 0992 A. Maximum variation from true position: ¼ inch in 10 feet. B. Maximum variation from plumb: ¼ inch in 10 feet. SECTION INCLUDES
 A. Fire rated walls.
 B. Acoustic insulation.
 C. Cementitious backer board.
 D. Gypsum wallboard.
 E. Joint treatment and accessories. - American National Standard for Interior Installation of Cementitious Backer Units American National Standard Specifications for Test Methods and Specifications for Cementitious Backer Units; 1999 (R2005).

C. ASTM C 475/C 475M — Standard Specification for Joint Compound and Joint Tape for Finishing Gypsum Board; 2002.

D. ASTM C 665 — Standard Specification for Mineral—Fiber Blanket Thermal Insulation for Light Frame Construction and Manufactured Housing; 2001.

E. ASTM C 840 — Standard Specification for Application and Finishing of Gypsum Board; 2005.

F. ASTM C 1002 — Standard Specification for Steel Self—Piercing Tapping Screws for the Application of Gypsum Panel Products or Metal Plaster Bases to Wood Studs or Steel Studs; 2004. ASTM C\_1047 — Standard Specification for Accessories for Gypsum Wallboard and Gypsum Veneer Base; 2005.

ASTM C 1396/C 1396M — Standard Specification for Gypsum Board; 2004.

ASTM E 72 — Standard Test Methods of Conducting Strength Tests of Panels for Building Construction; 2005. GYPSUM BOARD MATERIALS A. Manufacturers:

1. BPB America Inc: www.bpb-na.com. G-P Gypsum Corporation: www.gp.com/gypsum. National Gypsum Company: www.hationalgypsum.com. USG: www.lisa.com 3. National Gypsum Company: www.hationalgypsum.com.
4. USG: www.usg.com.
B. Gypsum Wallboard: ASTM C 1396/C 1396M. Sizes to minimize joints in place; ends square cut.
1. Regular Type:
2. Application: Use for vertical surfaces, unless otherwise indicated.
3. Edges: Tapered.
2. Fire Resistant Type: Complying with Type X requirements; UL or WH rated.
3. At Assemblies Indicated with Fire—Rating: Use type required by indicated tested assembly; if no tested assembly is indicated, use Type X.
3. Dinickness: 5/8 inch.
4. Lages: Tapered.
5. Ceiling Board: Special sag—resistant type.
5. Application: Ceilings, unless otherwise indicated.
5. Lages: Tapered.
6. Lages: Tapered.
7. Water—Resistant Gypsum Backing Board: ASTM C 1396/C 1396M; ends square cut. **SPECIFICATIONS** 

C. Water—Resistant Gypsum Backing Board: ASTM C 1396/C 1396M; ends square cut.

1. Application: Vertical surfaces behind thinset tile and pre—finished fiberglass panels in wet

TILE BACKER BOARD MATERIALS
A. Cementitious Backer Board: ANSI A118.9, aggregated portland cement panels with glass fiber mesh embedded in front and back surfaces, 5/8 inch thick.

ACCESSURIES
Accustic Insulation: ASTM C 665; preformed glass fiber, friction fit type, unfaced.
Finishing Accessories: ASTM C 1047, galvanized steel, unless otherwise indicated.
1. Types: As detailed or required for finished appearance.
Joint, Materials: ASTM C 475 and as recommended by gypsum board manufacturer for project

C. Joint Materials. ASTM C 475 and as recommended by gypsam board management for project.
 1. Tape: 2 inch wide, coated glass fiber tape for joints and corners, except as otherwise indicated.
 2. Tape: 2 inch wide, creased paper tape for joints and corners, except as otherwise indicated.
 3. Ready—mixed vinyl—based joint compound.
 D. Screws: ASTM C 1002; self—piercing tapping type.

aréas. Core Type: Regular and Type X, as indicated. Thickness: 5/8 inch.

SHEET NUMBER:

A9.3

sealer. K. Metal Doors to be Painted: Prime metal door top and bottom edge surfaces.

EXTRA MATERIALS

A. See Section 01600 — Product Requirements, for additional provisions.

B. Provide five percent of total acoustical unit area of each type of acoustical unit for Owner's use in maintenance of project.

5. SUSPENSION SYSTEM(S) A. Manufacturers: 1. USG; Product Donn DX: www.usg.com. B. Suspension Systems — General: ASTM C 635; die cut and interlocking components, with stabilizer bars, clips, splices, perimeter moldings, and hold down clips as required.

ACCESSORIES

 A. Support Channels and Hangers: Galvanized steel; size and type to suit application, seismic requirements, and ceiling system flatness requirement specified.
 B. Perimeter Moldings: Same material and finish as grid.
 1. At Exposed Grid: Provide L—shaped molding for mounting at same elevation as face of

A. Install suspension system in accordance with ASTM C 636, ASTM E 580, and manufacturer's instructions and as supplemented in this section.

B. Rigidly secure system, including integral mechanical and electrical components, for maximum deflection of 1:360.

C. Install after major above—ceiling work is complete. Coordinate the location of hangers with

other work.

D. Hang suspension system independent of walls, columns, ducts, pipes and conduit. Where carrying members are spliced, avoid visible displacement of face plane of adjacent members.

E. Where ducts or other equipment prevent the regular spacing of hangers, reinforce the nearest affected hangers and related carrying channels to span the extra distance.

F. Do not support components on main runners or cross runners if weight causes total dead load to exceed deflection capability.

ACOUSTICAL UNITS

A. Manufacturers:
1. Refer to Finish Schedule on drawings for various product manufacturers.
B. Acoustical Units — General: ASTM E 1264, Class A.
1. Models as scheduled on the construction documents.

INSTALLATION - SUSPENSION SYSTEM

Sherwin Williams: 1st Coat: S—W Exterior Latex Wood Primer, B42W8041 2nd Coat:S—W 0 VOC acrylic Satin B66—660 Series 3rd Coat: Same as 2nd Coat. 1st Coat: Benjamin Moore Fresh Start High-Hiding All Purpose Primer 046 (44 g/L) 2nd Coat:Benjamin Moore Aura Waterborne Exterior Paint Satin Finish 631 (44 q/L). . Natural Woods — "Stained Sherwin Williams: 1st Coat: S—W WoodScapes House Stain Exterior Polyurethane SemiTransparent Stain
A15T5 2nd Coat: Same as 1st Coat. 3rd Coat: Marine Varnish, Satin Finish 3. Ferrous Metals and Exposed Gas Lines Sherwin Williams:
1st Coat: S-W 0 VOC Acrylic Satin, B66-660 Series 2nd Coat:Same as 1st Coat. 1st Coat: Benjamin Moore Ultra Spec HP Acrylic Metal Primer HP04 (48 g/L). 2nd Coat:Benjamin Moore Aura Waterborne Exterior Paint Satin Finish 631 (44 g/L). 3rd Coat: Same as 2nd Coat. Unit Masonry Sherwin Williams: 1st Coat: S-W Loxon Concrete & Masonry Interior/Exterior Latex Primer, A24W8300 2nd Coat: S-W DTM Acrylic Semi-Gloss, B66-200 Series 3rd Coat: Same as 2nd Coat. 1st Coat: Benjamin Moore Ultra Spec Hi-Build Masonry Block Filler 2nd Coat:Benjamin Moore Aura Waterborne Exterior Paint Satin Finish 631 (44 a/L) 3rd Coat: Same as 2nd Coat. 5.Prepainted Equipment (Rooftop Equipment, Transformers, Etc.)
Sherwin Williams: 1st Coat: S-W DTM Acrylic Semi-Gloss, B66-200 Series 2nd Coat: Same as 1st Coat. 1st Coat: Benjamin Moore Coronado Rust Scat WB Acrylic Interior/Exterior Enamel Semi-Gloss 90 (135 g/L).
2nd Coat: Same as 1st Coat. 6. Pre-primed metal doors and frames Sherwin Williams: 1st Coat: S-W DTM Acrylic Semi-Gloss, B66-200 Series 2nd Coat:Same as 1st Coat. 1st Coat: Benjamin Moore Coronado Rust Scat WB Acrylic Interior/Exterior Enamel Semi—Gloss 90 (135 g/L).
2nd Coat:Same as 1st Coat. 7. Stucco & EIFS Sherwin Williams: 1st Coat: S—W Loxon Concrete & Masonry Interior/Exterior Latex Primer A244W8300 2nd Coat:S—W ConFlex High Build Coating, A5—400 Series 3rd Coat: Same as 2nd Coat. Benjamin Moore: 1st Coat: Benjamin Moore Ultra Spec Masonry Interior/Exterior 100% Acrylic Masonry Sealer 608 (46 g/L). 2nd Coat:Benjamin Moore Aura Waterborne Exterior Paint Satin Finish 631 (44 g/L). 3rd Coat: Same as 2nd Coat. Interior Surfaces Wood Trim — Painted Sherwin Williams: 1st Coat: S-W Multi-Purpose Interior/Exterior Latex Primer, 2nd Coat:S-W DTM Acrylic, Semi-Gloss, B666-200 Series 3rd Coat: Same as 2nd Coat. 1st Coat: Benjamin Moore Fresh Start Multi-Purpose Latex Primer 2nd Coat:Benjamin Moore Regal Select Waterborne Interior Semi- Gloss Finish 551 3rd Coat: Same as 2nd Coat. 2. Beams, Joists & Trusses - Painted Sherwin Williams: 1st Coat: S-W Multi-Purpose Interior/Exterior Latex Primer, B51W8020 Series 2nd Coat: VOC Acrylic Satin, B666-660 Series 3rd Coat: Same as 2nd Coat. 1st Coat: Benjamin Moore Fresh Start Multi—Purpose Latex Primer N023 (44 g/L). 2nd Coat:Benjamin Moore Regal Select Waterborne Interior Semi- Gloss Finish 551 ( 3/L). 3rd Coat: Same as 2nd Coat. 3. Wood - Stained Sherwin Williams: 1st Coat: Minwax Pre—Stain Wood Conditioner, 154—8866 2nd Coat: S—W WoodClassics Oil Stain, A49 Series . PAINTS AND COATINGS — GENERAL
A. Paints and Coatings: Ready mixed, except field—catalyzed coatings. Prepare pigments to a soft, paste consistency, capable of being readily and uniformly dispersed to a homogeneous 4. Wood Trim & Wood Doors - Stained Sherwin Williams: 1st Coat: Minwax Pre—Stain Wood Conditioner, 154—8866 2nd Coat: S—W WoodClassics Oil Stain, A49 Series B. Volatile Organic Compound (VOC) Content:
1. Provide coatings that comply with the most stringent requirements specified in 40 CFR 59, Subpart D—National Volatile Organic Compound Emission Standards for Architectural 3rd Coat: S—W WoodClassics Waterborne Polyurethane Varnish, A68F90 Series, satir . Gypsum Wallboard 8. EXAMINATION
A. Examine surfaces scheduled to be finished prior to commencement of work. Report any condition that may potentially affect proper application.
B. Measure moisture content of surfaces using an electronic moisture meter. Do not apply finishes unless moisture content of surfaces are below the following maximums:

1. Wood: 15 percent, measured in accordance with ASTM D 4442. Sherwin Williams: 1st Coat: S—W ProMar 200 Interior Latex Primer, B28W8200 2nd Coat: S—W ProMar 200 Latex Semi—Gloss, B31W2200 Series 3rd Coat: Same as 2nd Coat. PREPARATION
A. Surfaces: Correct defects and clean surfaces which affect work of this section.
B. Marks: Seal with shellac those which may bleed through surface finishes.
C. Impervious Surfaces: Remove mildew by scrubbing with solution of tetra—sodium phosphate and bleach. Rinse with clean water and allow surface to dry.
D. Gypsum Board Surfaces to be Painted: Fill minor defects with filler compound. Spot prime defects after repair. Gypsum ceiling surfaces in all Public areas are required to have a Level 5 finish surface; do not start painting until surface finish level is verified. Beginning of painting appsum indicates acceptance of surface.
E. Aluminum Surfaces to be Painted: Remove surface contamination by steam or high pressure water. Remove oxidation with acid etch and solvent washing. Apply etching primer immediately following cleaning. 1st Coat: Benjamin Moore Fresh Start Multi-Purpose Latex Primer N023 (44 g/L 2nd Coat:Benjamin Moore Regal Select Waterborne Interior Semi- Gloss Finish 551, 6. Ferrous Metal and exposed Gas Lines, Doors, Door Frames Sherwin Williams:
1st Coat: S-W DTM Acrylic Semi-Gloss, B66-200 Series 2nd Coat:Same as 1st Coat. 3rd Coat:Same as 1st & 2nd Coat. Alüminum Surfaces to be Painted: Remove surface contamination by steam or high pressure water. Remove oxidation with acid etch and solvent washing. Apply etching primer immediately following cleaning.
Galvanized Surfaces to be Painted: Remove surface contamination and oils and wash with solvent. Apply coat of etching primer.
G. Uncoated Steel and Iron Surfaces to be Painted: Remove grease, mill scale, weld splatter, dirt, and rust. Prime paint entire surface; spot prime after repairs.
H. Interior Wood Items to Receive Opaque Finish: Wipe off dust and grit prior to priming. Seal knots, pitch streaks, and sappy sections with sealer. Fill nail holes and cracks after primer has dried; sand between coats. Back prime concealed surfaces before installation.
Interior Wood Items to Receive Transparent Finish: Wipe off dust and grit prior to sealing, seal knots, pitch streaks, and sappy sections with sealer. Fill nail holes and cracks after sealer has dried; sand lightly between coats. Prime concealed surfaces with gloss varnish reduced 25 percent with thinner.
J. Wood Doors to be Field—Finished: Seal wood door top and bottom edge surfaces with clear sealer. Benjamin Moore: 1st Coat: Corotech Acrylic Metal Primer V110 (199 g/L). 2nd Coat: Corotech Acrylic DTM Enamel Semi—Gloss V331 (204 g/L). 3rd Coat: Same as 2nd Coat. \* NOTE: Omit 1st Coat on Pre—Framed Metal. 7. At Dissimilar Metals Sherwin Williams: 1st Coat: SW Hi-Mil Sher-Tar Epoxy, B60B40 / B60V40

Exterior Surfaces

1. Wood - Painted

DESIGN AND FABRICATION

A. All patterns for fabrication, regardless of production technique, method, or process specified, shall be approved by the Owner prior to production in order to ensure conformity to design with regard to letter form and height, wording, spelling, capitalization, punctuation, letter spacing, leading and layout or composition. D. Sand wood and metal surfaces lightly between coats to achieve required finish.

E. Where clear finishes are required, tint fillers to match wood. Work fillers into the grain before set. Wipe excess from surface.

F. Coverage coats noted herein are minimum requirements. Contractor shall provide additional coats as needed for complete coverage. MANUFACTURER A. Interior Signage: The drawings were prepared and this specification written on the basis of using the products of Kroy Sign Systems, Scottsdale, Arizona.

B. Street Address Signage: The drawings were prepared and this specification written on the basis of using the products of WestOn Letters, North Hollywood, CA.

C. It is not the intent to limit competitive bidding. Products with equal characteristics by other manufacturers are acceptable under the conditions of these specifications. FINISHING MECHANICAL AND ELECTRICAL EQUIPMENT
 A. Painting mechanical and electrical work is limited to items exposed in occupied spaces unless noted otherwise.
 B. Remove unfinished louvers, grilles, covers, and access panels on mechanical and electrical components and paint separately. SCHEDULE — SURFACES TO BE\_FINISHED
 Do Not Paint or Finish the Following Items:

 Items fully factory—finished unless specifically noted.
 Fire rating labels, equipment serial number and capacity labels.

 B. Mechanical and Electrical: Use paint systems defined for the substrates to be finished.

 Paint all insulated and exposed pipes, conduit, boxes, hangers, brackets, collars and supports, mechanical equipment, and electrical equipment occurring in finished areas, unless otherwise indicated.
 Paint shop—primed items occurring in finished areas.
 Paint interior surfaces of air ducts and convector and baseboard heating cabinets that are visible through grilles and louvers with one coat of flat black paint to visible surfaces.

 A. Regulatory signage series opaque acrylic, matte finish plaques, with front surface hot stamp graphics, in low profile frame. Configuration shown on drawings to conform with Americans with Disabilities Act requirements.

3. Provide one sign (unit) for each restroom door opening for public facilities.

3. Street Address Signage: Lettering to be 6 tall, University Roman Bold, Color: Medium Bronze, inch standoffs. Lettering to be ordered from: http://www.westonletters.com/index\_23.php?catlD=23&file=HN-Styles.htm Installation shall be started at the time established by the General Contractor. However, no sign work shall be permitted in the building before the building is completely enclosed and all painting and work of other trades is finished.

Install signs in accord with approved shop drawings. Install true to line, plumb, level, square, in proper planes with other work and free from objectionable defects. Anchor to adequately resis all normally subjected stresses. surfaces.

4. Paint dampers exposed behind louvers, grilles, and convector and baseboard cabinets to match face panels.

2. Paint both sides and edges of plywood backboards for electrical and telephone equipment before ection 10523 - Fire Extinguishers, Cabinets and Accessories . SECTION INCLUDES A. Fire extinguishers and cabinets. B. Accessories. Tentative Paint List: Where any particular application is not mentioned in this list, Contractor shall figure on application of manufacturer's specification for application which is consistent with types and qualities listed herein. Colors are indicated on drawings. . REFERENCES A. NFPA 10 — Standard for Portable Fire Extinguishers; National Fire Protection Association; 2007. B. UL (FPED) — Fire Protection Equipment Directory; Underwriters Laboratories Inc.; current edition. 3. MANUFACTURERS A. Fire Extinguishers, Cabinets and Accessories: 1. Larsen's Manufacturing Co: www.larsensmfg.com. 4. FIRE EXTINGUISHERS
 A. Fire Extinguishers — General: Comply with product requirements of NFPA 10 and applicable codes, whichever is more stringent.

 Provide extinguishers labeled by Underwriters Laboratories Inc. for the purpose specified and indicated.
 B. Dry Chemical Type Fire Extinguishers: Stainless steel tank, with pressure gage.

 Size and classification as scheduled.
Model: MP10
Bracket: B2 L'locate per local Fire Official direction Class K

Class K

Size 2.5 Gallon

Model: WC 2 1/2

Bracket: 864

Quantity: 1, locate per local Fire Official direction A. Cabinets: Larsen's #2409—R2, Vertical Duo Clear, #4 Stainless Steel B. Extinguisher Brackets: Formed steel, chrome—plated. A. Install in accordance with manufacturer's instructions. B. Secure rigidly in place. Section 10733 - Canvas Awnings . SECTION INCLUDES
A. Aluminum Framing
B. Canvas
C. Fabrication and Installation . ENGINEERING DESIGN
A. Custom design to fit conditions indicated on the plans. Awning materials, assembly and attachments to resist snow, wind, suction and uplift design loads assigned by governing codes. REFERENCE PUBLICATIONS AND STANDARDS American Society for Testing Materials (ASTM)
American Welding Society (AWS) 4. SHOP DRAWINGS

A. Submit, shop drawings and engineering design loads, sealed by a licensed engineer in this project's state, to Owner for review and acceptance prior to start of fabrication. Show configurations, member sizes, locations of each awning type, and size, location, configuration and method of attachment of members and lateral bracing. Snow, wind, suction and uplift design loads shall be submitted for review and acceptance at time of shop drawing submittal. GUARANTEE
 A. Contractor and awning subcontractor jointly and unconditionally guarantee awnings for a period of one year from date of Final Completion against defective materials and workmanship, and start leaks caused by abuse lightning burriagne, tornado, hail storm and oth against defective inderials and workmanship, and against defective inderials and workmanship, and against leaks (except leaks caused by abuse, lightning, hurricane, tornado, hail storm and other unusual climatic phenomena of the elements). During guarantee period, Contractor and subcontractor jointly agree that within 24 hours of receipt of notice from Owner, defects in awnings, within meaning of guarantee, will be immediately repaired and within 5 working days after receipt of notice from the Owner, defective awnings will be restored to the original specifications without cost to Owner, including all labor, materials and other costs incidental to the work MANUFACTURER
 A. The drawings were prepared and this portion of this specification written on the basis of using the products of specific manufacturers. It is not the intent to limit competitive bidding. Products with equal characteristics by other manufacturers are acceptable under the conditions of these specifications.
 1. Raven Mills, Inc., Glen Raven, NC, color as noted on Drawings.
 . BASIC MATERIALS A. Canvas: Sunbrella , 100 percent acrylic, 9.25 oz., (Sunbrella Firesist Fabric, 100% modacrylic fiber, NFPA 701 where required by code)
 Frame: Aluminum

 Shopes and Plates: ASTM A36
 Tubing: Aluminum [1 x 1 with radiused edge]. Ends of tubes to be closed off with dluminum cap.

 MISCELLANEOUS MATERIALS
A. Welding Electrodes: AWS for the condition of use.
B. Bolts, Nuts and Washers: ASTM A307. 9. SHOP PAINTING
A. Clean steel of loose mill scale, rust, oil, grease, and other foreign matter after fabrication and before leaving the shop. No primer. A. Measurements: Verify measurements and make field measurements before fabrication.

B. Frames: Shear, punch, or otherwise cut parts without leaving ragged or torn edges. Surfaces and edges to be welded shall be smooth, clean, uniform and free from loose scale, fins, tears, cracks and other defects. Provide holes or other provisions for attachment of other materials as required. Fabricate and assemble parts in shop to greatest extent possible. Assembled pieces shall be taken apart, if necessary, for removal of burrs and shavings. Parts not completely assembled in shop shall be secured by bolts, insofar as practicable, to prevent damage in shipment and handling.

Canvas: Fabricate canvas to size and detail shown on the Drawings. Finally fabricated canvas shall be close fitting to frames with edges bound. Utilize standard lacing flaps, grommets, and screws for attaching to frames.

1. Thread: Polyester, size 12
2. Stitching: No less than 6 stitches per inch.
3. Tie Down Rod: 3/8 inch diameter B51W8020Series GENERAL
 A. Provide anchors, supports, braces, connections, bolts, etc. required. Sizes, kinds and spacing of bolts and/or anchors not indicated or specified shall be as directed.
 12. STORAGE AND HANDLING
A. Perform in a manner to prevent bending, warping, twisting or other damage. 13. INSTALLATION INSTALLATION
A. Frames:

Field Assembly: Properly locate frames and secure to connecting work. Locate anchors and anchor bolts accurately. Align and adjust parts accurately before fastening.
Welding: Insofar as is possible weld connections unless shown otherwise on the drawings. Defective or unsound welds or base metal shall be corrected as provided for under AWS D1.0 at no additional cost to the Owner.
Miscellaneous: Fastenings shall be concealed where practicable. Thickness of metal and details of assembly and supports shall give ample strength and stiffness. Exposed fastenings shall be compatible materials. Materials and parts necessary to complete each item, even though such work is not definitely shown or specified, shall be included. Where dissimilar metals are in contact, surfaces shall be protected with a coat of bituminous paint to prevent galvanic or corrosive action.

B. Canyas: Install with nylon laces and screws. Finally installed canyas shall be smooth, free of wrinkles, and close fitting to frames. Laces exposed to weather side of canyas will not be acceptable. . All toilet accessories are furnished and installed by Contractor. Coordinate rough—in, openings and 2. Install fixtures, accessories and items in accordance with manufacturer's instructions, and where affected, at heights or locations for the handicapped as indicated or specified herein. 3. Install true, plumb and level, securely and rigidly anchored to substrate 4. See Schedule on drawings for accessories. <u> Division 11 - Equipment</u> Section 114<u>00 - Food Service Equipment (Installation)</u> A. Installation of Owner provided food service equipment.

B. Equipment shall be furnished, assembled, and set in place under separate contract, with final utility connection by General Contractor. 2. RELATED SECTIONS
A. Mechanical and Electrical services and final connections to equipment. . OWNER / CONTRACTOR RESPONSIBILITIES

A. Owner will provide equipment manufacturer's installation instructions for Contractor's use.

B. Owner will provide equipment manufacturer's operation and maintenance data for Contractor's Coordinate size of access and route to place of installation.

Owner Provided (By Owner):

Equipment scheduled on the drawings.

Mechanical refrigeration systems, including compressor units, condensers, evaporator coils, and control valves.

Motor starters.

Walk—in refrigerator/freezer thermostats.
 Stainless steel trim strips, supports and connections, attachment devices, and accessories.

<u> Division 10 - Specialties</u> Section 10442 - <u>Architectural Signage</u>

Apply products in accordance with manufacturer's instructions.

Do not apply finishes to surfaces that are not dry. Allow applied coats to dry before next coat is applied.

Apply each coat to uniform appearance. Apply each coat of paint slightly darker than

in accordance with manufacturer's recommendations. INSTALLATION

tractor Provided: Refrigerant System Installation
Refrigerant Lines: Type L hard copper tubing.
Fittings: Wrought copper or brass designed for use with high temperature solder.
Piping Joints: Made with silver solder (Sil—Fos).
Piping: Properly suspended from an anchor to the structure with adjustable hangers 6' o.c. maximum.
Suction lines: Size to have maximum. o.c. maximum.

Suction Lines: Size to have maximum pressure drop of two pounds in medium temperature systems, one pound in low temperature system.

Liquid Lines: Sized to give maximum pressure to prevent trapping of oil. Rigid insulation on all suction lines to be Armaflex insulation by Armstrong — 1 thick at medium temp., 1—1/2 thick at low temp. Refrigerant lines in PVC or EMT conduit to be sealed at both ends with Dow Corning 3—6548 silicone RIV foam.

Evacuation and Charging: After completion of the pressure test, the system shall be evacuated using an approved auxiliary vacuum pump. Connections for evacuations to be in accordance with manufacturers recommendations. Delivery: Upon receiving equipment, check crates/cartons identification labels with receiving P.O.; assure correct item has been received.

Handling: Uncrate equipment in organized manner. Take care not to misplace loose parts, accessories, assembly and operating instructions, and warranty cars. Keep utility hookup notes and tags on equipment until after connections are made. Assemble in workmanship manner in accord with manufacturer's directions, taking care to make sure fasteners are tight and components are aligned and square.

Storage: Store equipment clear of floor in manner to prevent warping, twisting, or sagging 5. INSTALLATION
A. Install items in accord with manufacturer's instructions and fabricator's shop drawings. Install in accord with local governing Health, Building, and Safety, and Fire Protection Codes and Regulations and NEMA, UL, AGA, ASME and NFPA.
B. Electrolysis: Insulate to prevent electrolysis between dissimilar metals. Provide sealant to achieve clean joint without crevices.
C. Equipment

General: Set in place and position per kitchen equipment plan; ready for utility hook up. After utility hookups are made, level and secure dish tables to slope toward dishwasher. Completely close and seal gaps, joints and seams between fixtures/equipment and walls, ceilings and floors with stainless steel trim strips and/or clear silicone sealant. Do not use sealant in joints or seams over 3/16 inch wide.

Refrigerant Piping: Install copper tubing and fittings. Cut with pipe cutters and reshape with sizing tool. Expose piping to view as required by American Standard Safety Code for Mechanical Refrigeration. For exposed areas or accessible furred ceiling spaces, use hard copper tubing. Run exposed tubing in such manner as to prevent damage from activities in areas, otherwise run tubing in pipe or conduit.
Suction Lines: Size to give max pressure drop from evaporator to machine of 2 lb. For high temps system and 1 lb. For freezer system, allowing gas velocities of not less than 750 rpm in horizontal runs and 1500 rpm in vertical risers. Size liquid lines to give max pressure drop of 3 lbs. from receiver to evaporator.
Lubing Runs: Grade to prevent trapping of oil.
C. Ties: Secure suction and liquid lines for each system together, except when run through conduit, 24 inch intervals with black plastic electrical tape.
d. Insulation: Insulate refrigerant suction lines outside of refrigerated compartments back to compressors.
e. Hangers and Supports: Provide adiustable hangers. anchors or straps required for a. Insulation: Insulate refrigerant suction lines outside of refrigerated compartments back to compressors.

e. Hangers and Supports: Provide adjustable hangers, anchors or straps required for proper support of piping not run in conduit. Space hangers not to exceed 10 fee o.c. and closer where required for proper support of small piping. Provide insulated refrigerant piping with approved type sleeves at hanger points.

Walk—In Cooler Freezer Boxes: Transit level floor screens prior to wall and ceiling panel erection. Seal wall and/or ceiling penetrations for electrical conduits and refrigeration lines, etc., to prevent frost and condensate build—up. Electrical conduits; on exterior of box.
4. Oil Separators: Provide low temperature operations of system, return line connected to top of crankcase above oil level. Provide exposed oil return lines with shut—off valves of packless stem type.
5. Evaporator Coils: Support by hangers utilizing fish plates on top of walk—in unit a full 4 inches clear from underside of ceiling panels.

ARCHITECT: DAVID SCOTT WINDLE, AIA 6201 CAMPUS CIRCLE DRIVE E IRVING, TX 75063 PHONE 972.870.1288 E-MAIL scottw@idstudio4.com OCUS Brands 6620 Glenridge Dr. N Atlanta, Georgia 30342 314.630.5565 www.focusbrands.com WISCONSIN DAVID SCOTT WINDLE A-6390 Pallas, Texas

> AUNTIE ANNE WISCONSIN TWISTED PRETZEL, CESAR HERNANDEZ AMBA/AIADISON MAE

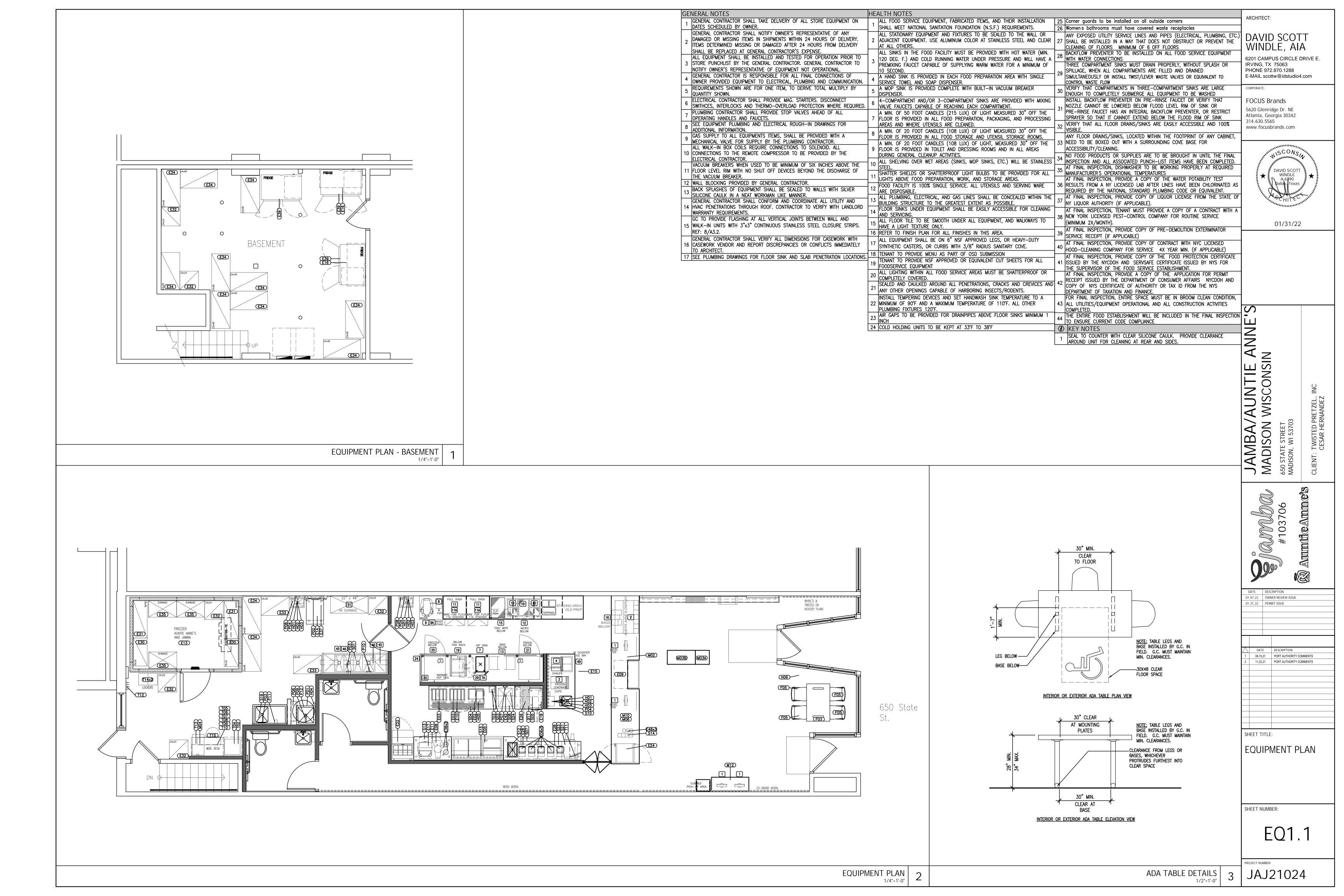
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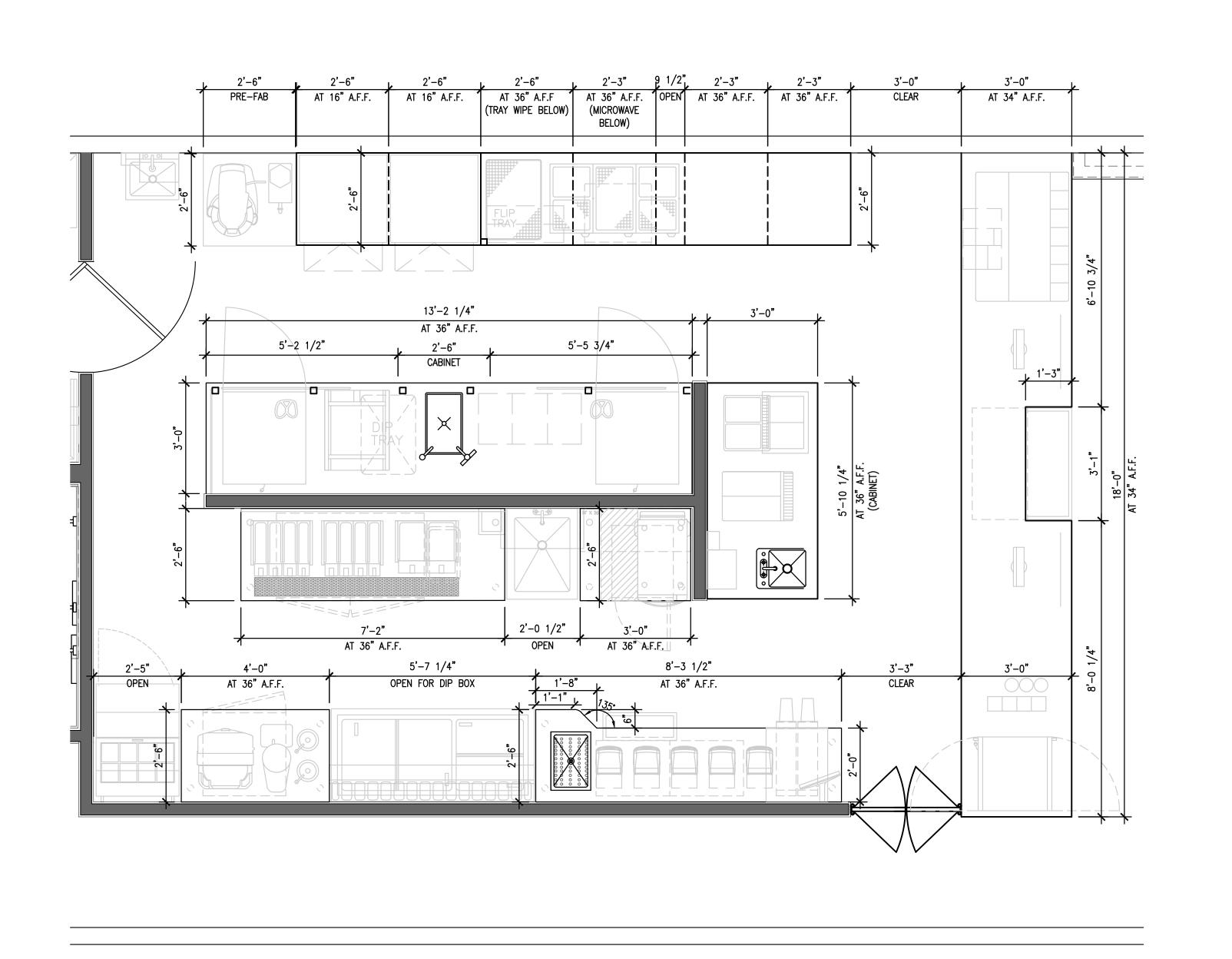
DATE DESCRIPTION SHEET TITLE:

**SPECIFICATIONS** 

SHEET NUMBER:

A9.4





FURNISHING NOTES

1 HEIGHT OF TABLES AND COUNTERS SHALL BE 28" MINIMUM-34" MAXIMUM

2 MANEUVERING CLEARANCE SHALL BE 30"X48"

3 KNFF CLEARANCE SHALL BE 27" HIGH 19" DEEP AND 30" WIDE

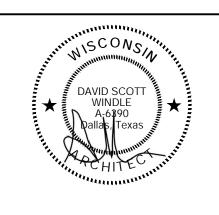
3 KNEE CLEARANCE SHALL BE 27" HIGH, 19" DEEP AND 30" WIDE
4 SNEEZEGUARD SHALL BE OF NSF APPROVED MATERIAL.

ARCHITECT:

DAVID SCOTT WINDLE, AIA

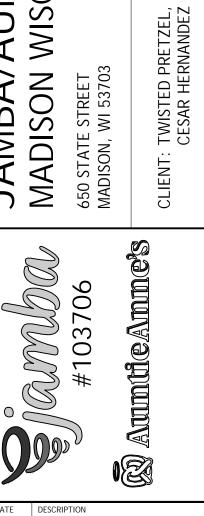
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01/31/22

JAMBA/AUNTIE ANNE'S
MADISON WISCONSIN
650 STATE STREET
MADISON, WI 53703



DATE DESCRIPTION
01.07.22 OWNER REVIEW ISSUE
01.31.22 PERMIT ISSUE

DATE DESCRIPTION
11.22.21 PORT AUTHORITY COMMENTS

SHEET TITLE:

COUNTERTOP PLAN

SHEET NUMBER:

EQ1.2

PROJECT NUMBER:

EQUIPMENT				PLUMBING FINAL WATER WAST		ELECTRICAL				REMARKS	ARCHITEC
NO QTY ITEM	MANUFACTURER	MODEL	FURN BY INSTALL E	Y CONNECT HW CW HEIGHT DIR	INDIRECT HEIGHT SIZE B	BTU/HR HEIGHT VOLTS LOAD	HZ PHAS	SE AMPS HP/V	ATT OUTLET D	SCONNECT HEIGHT	DAVI
EQUIPMENT  E01 na CRATHCO (TRIPLE COMBO BOWL)	CRATHCO SIMPLICITY	CS-3D-16	KES GC			120	60	8.5A	5-15A	CIRCUIT VIA GFI BREAKER	
E02 1 CRATHCO (DOUBLE BOWL)	CRATHCO SIMPLICITY	CS-2D-16	KES GC			120	60	8.5A	5-15P	CIRCUIT VIA GFI BREAKER	
E03 2 CRATHCO (MINI-QUAD) E04 na DIP BOX CABINET (SMALL)	CRATHCO SIMPLICITY NELSON	CS-4E-16 BD8RB 23-074	KES GC			115 120	60	8.5A 1 9/1035	5-15P 5-15R	CIRCUIT VIA GFI BREAKER CIRCUIT VIA GFI BREAKER	6201 CAM IRVING, T
E05 1 DIP BOX CABINET (LARGE)	NELSON	BD10RB 622 ASM	KES GC			120	1	1 9/1035	5-15R	CIRCUIT VIA GFI BREAKER	PHONE 97
E06 5 BLENDER W/PLEXIGLASS COVER, ON-COUNTER E07 na WHEAT GRASS JUICER MACHINE	BLENDTEC MIRACLE PRODUCTS	STEALTH NITRO X  GREEN MACHINE MJ575	KES GC			120 120	1	1	800W	DEDICATED CIRCUIT FOR EACH BLENDER. SINGLE OUTLET RECEPTACLES. PROVIDE NEMA 5-20R SIMPLEX RECEPTACLES. PROVIDE NEMA 5-20R SIMPLEX RECEPTACLES.	TACLE.
E08 1 JUICE EXTRACTOR	ROBOT COUPE	J 100 ULTRA, 1 SPEED, 120V CO33R-UC, EXTERIOR COLOR: 7850-60 BEIGEWOOD, INTERIOR COLOR: BLACK, SQUARE END PANE	KES GC			120	1	1 9		CIRCUIT VIA GFI BREAKER. ETL LISTED & APPROVED.	CORPORATE:
E09 1 UNDER COUNTER REFRIGERATED SELF-SERVICE COUNTER CASE, 3' L	STRUCTURAL CONCEPTS	W/ MIRROR, BACK PANEL COLOR: BLACK, SELF CONTAINED REFRIGERATION	KES GC			120	1	1 10.98	5-15P	WIDTH/DEPTH/HEIGHT: 36-1/4"L X 32-3/8"D X 32-3/4"H, CIRCUIT VIA GFI BREAKER	FOCUS E
E10 1 2-DOOR REFRIGRATOR (UNDERCOUNTER) E11 1 SINGLE DOOR REFRIGRATOR (UNDERCOUNTER)	DELFIELD DELFIELD	UC4048P 406-CAP	KES GC			120	1 1	1 4 1 5.8	5-15P 5-15P	CIRCUIT VIA GFI BREAKER CIRCUIT VIA GFI BREAKER	5620 Gleni Atlanta, G
E12 na WALK-IN COOLER BOX W/COMP.	MASTER-BILT	6' x 8', 8'-6" HIGH, W/ LIGHT FIXTURE	KES GC			REF: ELEC.		0.0	0 101	GC MUST VERIFY ELECTRICAL REQUIREMENTS WITH WALK-IN SHOP DRAWINGS PRIOR TO INSTALLATION	314.630.55
E13 1 WALK-IN FREEZER BOX W/COMP. E14 1 ICE MACHINE (FLAKER) AND BIN	MASTER-BILT SCOTSMAN	10' x 8', 8'-6" HIGH W/ LIGHT FIXTURE F0822A-1A W/ B322S	KES GC			REF: ELEC.	1 1	1 19.5	-	GC MUST VERIFY ELECTRICAL REQUIREMENTS WITH WALK-IN SHOP DRAWINGS PRIOR TO INSTALLATION CONNECTED TO FILTERED WATER, PROVIDE 30A-1P NON-FUSED DISCONNECT, CIRCUIT VIA GFI BREAKER	www.focu
E15 1 5 DISPLAY DIGITAL MENU BOARD	LG	43SE3KD	OWNER VENDOR			125		. , , , ,			
E16 2 WALL SHELF ABOVE FRIDGE E17 1 CITRUS JUICER MACHINE (COUNTERTOP)	INTERMETRO ZUMEX	55" X 24" ESSENTIAL PRO	KES GC			120	1	1		CIRCUIT VIA GFI BREAKER	
E18 1 VENTLESS OVEN - SOTA	TURBO CHEF	THE SOTA	KES GC			208	1	1 30	6-30P	UL 710B (KNLZ) LISTED FOR VENTLESS OPERATION	, strik
E19 na COUNTERTOP WARMER E20 na RICE COOKER (OATMEAL COOKER)	INTELLISERV TAR HONG	IS-1/3 SEJ50000	KES GC			120V 120	1	4.2 1 15	500W 5-15P	CIRCUIT VIA GFI BREAKER CIRCUIT VIA GFI BREAKER	
E21 na OATMEAL CART	VOLLRATH	97120-SS UTILITY CART	KES GC								<b>*</b>
E22 1 BOWL PREP COLD TABLE - W/ CLEAR LID E23 na FRESHNESS QUEUE FULL HGT. FRIDGE	BEVERAGE-AIR BEVERAGE-AIR	SPE27HC-CL HBR44HC-1-HG -S	KES GC			115 115	60 1		1/6HP 5-15P 1/3HP 5-15P	1/2 GLASS, 1/2 SS CASE WITH 8 SHELVES	
E24 1 OLO COOLER (LARGE) - LEFT	TRUE	(LEFT) GDM-05PT-S-HC-TSL01 HNG/LHRH	KES GC			110	60 1	1 15	190W 5-15P	11/2 GEAGS, 11/2 33 CASE WITH O SHEEVES	74,4,
E25 na OLO COOLER (LARGE) - RIGHT E26 1 UNDER COUNTER FREEZER (FUTURE PURCHASE)	TRUE BEVERAGE-AIR	(RIGHT) GDM-05PT-S-HC-TSL01 HNG/RHLH UCF20HC	KES GC			115	60 1	0	5-15P 1/3HP	WITH PLAIN WHITE SIGN	
E28 2 18" X 24" METRO STORAGE SHELVING - UNDER CNTR.	INTERMETRO	SUPER ERECTA 1824NK3 W/ 27.5" GREEN POSTS, 27.5PK3	KES GC					2.5	I/SFIF		
E29 na 18" X 24" METRO STORAGE SHELVING - 4 TIER	INTERMETRO INTERMETRO	SUPER ERECTA 1824NK3	KES GC								
E30         2         18" X 36" METRO STORAGE SHELVING - 4 TIER           E31         2         18" X 48" METRO STORAGE SHELVING - 4 TIER	INTERMETRO	SUPER ERECTA 1836NK3 SUPER ERECTA 1848NK3	KES GC								
E32 5 24" X 24" METRO STORAGE SHELVING - 4 TIER	INTERMETRO	SUPER ERECTA 2424NK3	KES GC								
E33 2 24" X 36" METRO STORAGE SHELVING - 4 TIER E34 10 24" X 48" METRO STORAGE SHELVING - 4 TIER	INTERMETRO INTERMETRO	SUPER ERECTA 2436NK3 SUPER ERECTA 2448NK3	KES GC								
E35 3 22" X 36" DUNNAGE RACK (AA SPEC.)	METRO	HP2248PD	KES GC								
E36 na HYBRID DRIVE THRU MENU BOARD AND CANOPY E37 1 ICEZONE	THE HOWARD COMPANY BIOZONE	CUSTOM X SANITATION SYSTEM	VENDOR VENDOR KES GC			100-240V AC	50/60HZ	0.8	9.6W		
E38 2 ELECTRIC DIPPER WELL	CONSERVEWELL	CW-DI 87770	KES GC			120V		1	L00W 5-15P		
E39 3 FULL HGT. REACH IN FRIDGE E40 na GRAB AND GO (WALL UNIT)	TRAULSEN OMCAN	G20010 31809	KES GC			115 110	60 1	1 7.4 1 8 :	5-15P 340W		
E41 na FULL HGT. REACH-IN FREEZER	TRAULSEN	G22010	KES GC			115	60 1	1 11.2	5-15P		
E42 1 SINK STRAINER (DUMP SINK) E48 3 SPOON AND STRAW HOLDER - COUNTER TOP	FISHER 22535 VOL78710	22535 DRAINKING FLAT STRAINER  VOLLRATH SS BAIN MARIE POT - 1 1/4 QT. FOR CONDIMENT BIN (PROVIDED IN SMALLWARES)	KES GC								<u> </u>
E49 na DRIVE THRU WORK TABLE	SPG	CUSTOM - 30" X 48"	KES GC								
FURNITURE											
F01 na NOT USED											
F02 na BAR STOOLS	KES	JUST CHAIR MOLDED LAMINATE ON HAIRPIN LEGS	KES GC								
F03	WISCONSIN BUILT WISCONSIN BUILT	CUSTOM	MV GC								<u> </u>
F05 4 INTERIOR CHAIR	KES	JUST CHAIR MOLDED LAMINATE ON HAIRPIN LEGS	KES GC				× ×				$\Box$
W-3 1 LOBBY MURAL	DGS	CUSTOM	PSP GC				1	-			
see			1000000								AUNT
W-4 elev. GREY LINE DRAWING GRAPHIC W-5 1 MENU MURAL GRAPHIC	GRAPHICS VENDOR GRAPHICS VENDOR	CUSTOM	VENDOR GC VENDOR GC								$$ ID $\stackrel{\scriptscriptstyle  u}{\scriptscriptstyle{\sim}}$
W-9 1 DIMENSIONAL GRAPHIC (WHIRL'D AND TWISTED)	GRAPHICS VENDOR	CUSTOM	VENDOR GC								
WD-1 2 SLAT WALL (4' X 4')	DGS	сиѕтом	PSP GC								
WD-3 1 ENGINEERED HICKORY PLANKS	SEE FINISH SCHEDULE	SEE FINISH SCHEDULE	GC GC				(·				JAMBA
WD-4 1 DIMENSIONAL PRETZEL WD-5 1 DIMENSIONAL WHIRL	DGS	CUSTOM	PSP GC								——
ACCESSORIES											<b></b>   ≥ 7
H01 3 SOAP DISPENSER	EAGLE GROUP	377455	OWNER GC								
H02 3 HAND SANITIZER DISPENSER H03 3 PAPER TOWEL DISPENSER - AUTOMATIC	EAGLE GROUP BOBRICK	377455 B-72974	OWNER GC								
H04 1 MOP HANGER	FLORESTONE	MR-372	GC GC				44. y				
H05 1 UNDER COUNTER TRASH H06 1 LOBBY TRASH (SELECT BASED ON RECYCLING PROGRAM AVALIBILITY)	BY OWNER SIMPLE HUMAN	BY OWNER  SPHCW1407 60 LITER/15 GALLON BULLET W/ S/S OPEN TOP CAN (LANDFILL ONLY)	OWNER OWNER				2				
OR	IMPREZZA	JSNALMOR35 LOBBY TRASH CAN - OPEN TOP DUAL STREAM RECYCLING CONTAINER	KES GC								
H07 1 LOT HAND SANITIZER (NOT SHOWN H08 1 LOT WIPES (NOT SHOWN)	VENDOR VENDOR		OWNER OWNER OWNER								
H09 1 LOT GLOVE DISPENSER (NOT SHOWN)	VENDOR		OWNER OWNER								
H10 1 LOT MASK DISPENSER (NOT SHOWN)	VENDOR		OWNER OWNER				*				
H11 1 LOT 6'-0" SEPERATION MARKERS (NOT SHOWN)	VENDOR		OWNER OWNER								
MILLWORK											
M01 na NOT USED  M02 1 POS COUNTER	MILLWORK VENDOR	CUSTOM	MV GC							SHEET EQ1.1 FOR DIMENSIONS	
M03A 1 MERCHANDISING ISLAND (SMALL)	MILLWORK VENDOR	сиѕтом	MV GC								
M03B 1 MERCHANDISING ISLAND (LARGE) M04 1 MANAGER'S DESK W/ SHELVES	MILLWORK VENDOR MILLWORK VENDOR	сиятом	MV GC								
M04         1         MANAGER'S DESK W/ SHELVES           M05         na         SNEEZEGUARD	MILLWORK VENDOR	IN SURFACE MOUNTED CHANNEL, 3/8" TEMPERED GLASS	MV GC								
M06 1 ORDER HAND OFF COUNTER	MILLWORK VENDOR	СИЅТОМ	MV GC								DATE DE
M07 na NOT USED  M08 na BULKHEAD ABOVE ORDER HAND OFF	MILLWORK VENDOR	CUSTOM	MV GC								01.07.22 O\
M09 na POS SHROUD	MILLWORK VENDOR	сиѕтом	MV GC								01.31.22 PE
M09A na POS SHROUD W/ PLEXIGLASS SHIELD M10 1 HANGING PLEXIGLASS SHIELD AT HAND-OFF	MILLWORK VENDOR MILLWORK VENDOR	CUSTOM	MV GC								
M11 na PLEXIGLASS SHIELD AT DRIVE THRU	MILLWORK VENDOR	сизтом	MV GC								
M12 1 SELF ORDER KIOSK CABINET	MILLWORK VENDOR	CUSTOM	MV GC								
PLUMBING											
P01 1 WATER HEATER - GAS	BRADFORD - WHITE I OW NOV	D-75T-125E-3N, 125 MBH INPUT, 75 GAL CAP, 202 GPH RECOVERY @60 DEGREE RISE	GC GC	1 1/4" 1 1/4"	3/4"	120/1			20A-1P	ULTRA-LOW NOX. GC TO PRIVIDE/INSTALL SEISMIC RESTRAINTS AND REQUIRED BY CODE. VERIFY REQUIRED CLEARANCES AVALIABLE PRIOR TO ORDERING.	DVERHEAD DATE
P02 1 WATER FILTER (LARGE)	EVERPURE	EV9328-05 FILTER ASSEMBLY WITH PREFILTER AND ALARM SYSTEM	OWNER GC	3/4"		120/1		1.5/350	20/4-11	REFERENCE DRAWINGS FOR MOUNTING LOCATIONS	
P03 2 SWING-TYPE FAUCET (4-COMP SINK & PREP SINK) P04 3 AUTOMATIC FAUCET DECK MOUNT	FISHER SLOAN	#13269 #SF-2450-4-0.5 GPM	GC GC	3/4" 3/4" 24"AFF 1/2" 1/2"						PROVIDE MIXING VAULVE SET AT 110 DEGREES FAHRENHEIT	
P04 3 AUTOMATIC FAUCET DECK MOUNT P05 na NOT USED	GEOAN	17-01 -2-100-1-0.0 GF WI	GU	112 112						PROVIDE MIXING VAULVE SET AT 110 DEGREES FAHRENHEIT PREP SINK GETS FCW	
P06 1 DETERGENT DISPENSER	COLGATE-PALMOLIVE /AJAX		OWNER GC	1/2" +48"							
DOZ I 4 INITOMATIO DUMO OMIZ CALICET	T&S BRASS MODEL ADVANCE TABCO	MPY-8WLN-12-4C SINK: 7-PS-20-NF, SEE P4 FOR FAUCET	KES GC	1/2" 1/2"						WITH B-0970-FEZ ATMOSPHERIC BACK FLOW PREVENTER  PROVIDE WITH WATTS USC-B THERMOSTATIC MIXING VALVE (SET TO 110F)	
P07 1 AUTOMATIC DUMP SINK FAUCET P08 2 WALL MOUNT HANDSINK		#8253, W/ VACUUM BREAKER AND DOUBLE STOPS, BUCKET HOOK AND WALL SUPPORT	GC GC	1/2" 1/2"						PROVIDE 1/2" STUB @ MOP SINK	
P08         2         WALL MOUNT HANDSINK           P09         1         MOP SINK FAUCET	FISHER		00 00	Jan Comment	1 ' '						
P08 2 WALL MOUNT HANDSINK	FISHER FISHER ECOLAB	#34479 SPRING STYLE PRE-RINSE W/ ADD ON FAUCET VICTORY WASH	GC GC OWNER OWNER	1/2" 1/2" 3 1 1/4"						CONNECT TO FILTERED WATER AT S44 PREP SINK	
P08         2         WALL MOUNT HANDSINK           P09         1         MOP SINK FAUCET           P10         1         COMBO PRE-RINSE W/ ADD-ON FAUCET	FISHER	#34479 SPRING STYLE PRE-RINSE W/ ADD ON FAUCET	GC GC OWNER OWNER GC GC								SHEET TITL

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01/31/22

MADISON WISCONSIN
650 STATE STREET
MADISON, WI 53703
CLIENT: TWISTED PRETZEL, INC
CESAR HERNANDEZ

a Aumthe Annes DESCRIPTION
OWNER REVIEW ISSUE
PERMIT ISSUE

DAT	E	DESCRIPTION

UIPMENT SCHEDULE

SHEET NUMBER:

EQ2.1

PROJECT NUMBER:

JAJ21024

					PLUMBING					ELECTR	RICAL				REMARKS
QUIPMENT				FINAL	WATER	WA	STE	GA	s						
NO QTY ITEM	MANUFACTURER	MODEL	FURN BY INSTAL		HW CW	HEIGHT DIF		HEIGHT SIZ	E BTU/HR H	EIGHT VOLTS L	LOAD HZ	PHASE AMPS	HP/WATT	OUTLET DISCONNECT	HEIGHT
AINLESS STEEL	•			*					*	*		*	•		
501 1 4-COMP SINK W/ BACK/END SPLASHES	CUSTOM STAINLESS/WESTSTAF	R W/ FISHER #22209 ROTARY WASTE	KES GC		3/4" 3/4"		3"								PROVIDE FLOW CONTROLS (WASTE LEVERS) ON STRAINERS. WITH P03 AND P12 FAUCET SET.
502 na SHELF (ABOVE 4-COMP SINK)	CUSTOM STAINLESS/WESTSTAF		KES GC												
03 1 POS PRINTER SHELF	CUSTOM STAINLESS/WESTSTAF		KES GC												
04 1 DISPENSING COUNTER - CRATHCO	CUSTOM STAINLESS/WESTSTAF		KES GC				3/4"								INDIRECT WASTE TO FLOOR SINK FOR DRIP TROUGH
05 1 DISPLAY SHELF (ABOVE SOTA OVEN)	CUSTOM STAINLESS/WESTSTAF		KES GC												
na WHEAT GRASS TRAY - WALL MOUNTED	CUSTOM STAINLESS/WESTSTAF		KES GC												
07 1 UNDER COUNTER LID BIN	CUSTOM STAINLESS/WESTSTAF		KES GC				3/4"								INDIRECT WASTE TO FLOOR SINK
8 1 DUMP SINK - ONE COMPARTMENT SINK	CUSTOM STAINLESS/WESTSTAF		KES GC												
9 na INTEGRATED WHEAT GRASS SINK	CUSTOM STAINLESS/WESTSTAF		KES GC		1/2"		1-1/2"								CONNECT TO FILTERED WATER, BRAIDED STAINLESS STEEL WASTE W/ P15A FAUCET SET
0 1 INTEGRATED HAND SINK W/ SS SPLASH GUARDS		R W/6" H SS SPASH GUARD ON (3) SIDES	KES GC		1/2" 1/2"		2"								
na COMBO BOOST BIN/BLENDER SHELF (SMALL)		R 54 3/8", MOUNTED TO SMALL DIP BOX	KES GC												
1 INTEGRATED ICE BIN - BLENDER STATION	CUSTOM STAINLESS/WESTSTAF	4" HIGH SPLASH GUARD AROUND ICE BIN, REF: EQ1.2	KES GC				3/4"								INDIRECT WASTE TO FLOOR SINK
13 1 JUICING/DIP WELL COUNTER		CUSTOM, WITH INTERGRATED SINK #S09, NO LOWER SHELF	KES GC												
14 1 CUP LID HOLDER	CUSTOM STAINLESS/WESTSTAF		KES GC												
5 1 COMBO BOOST BIN/BLENDER SHELF (LARGE)		R 66 3/4"L, MOUNTED TO LARGE DIP BOX	KES GC												
6 na DIP WELL COUNTER	CUSTOM STAINLESS/WESTSTAF		KES GC												
17 1 OVEN COUNTER	CUSTOM STAINLESS/WESTSTAF		KES GC												
19 1 ONE COMPARTMENT SINK - PREP SINK	CUSTOM STAINLESS/WESTSTAF		KES KES	PC	1/2" 1/2"		1 1/2"								27"D X 46"W
20 na NOT USED															
21 1 CUP DISPENSER - UNDER COUNTER	CUSTOM STAINLESS/WESTSTAF	R UNDERCOUNTER	KES GC									<u> </u>	'	<u>'</u>	
23 1 BLENDER COUNTER		CUSTOM W/ INTERGRATED ICE BIN #S12	KES GC												
24 1 SLAT SHELF (ABOVE DUMP SINK)	CUSTOM STAINLESS/WESTSTAF		KES GC												
FICE EQUIPMENT															
ICE EQUIFMENT															POWER & DATA FOR POS TERMINALS. COORDINATE WITH MILLWORK FOR EXACT LOCATION. SEE POS
01 na POS CASH REGISTER/DRAWER	TOAST	M-43-11-REV-D-VASARIO - 16X16; GRAVITY FLIP PRO 2.0 MOUNT; ELO 1-SERIES 2.0 FOR ANDROID	OWNER OWNE	R							120	1			ELECTRICL DRAWINGS.
2 1 IT CABINET	TRIPP-LITE	SMART RACK 15U LOW-PROFILE	OWNER GC												
3 1 POS RECEIPT PRINTER	IBM		OWNER OWNE	R							120	1			POWER AND DATA FOR POS PRINTER, SEE DRAWINGS FOR EXACT LOCATION
4 1 SAFE	FIRE KING SECURITY GROUP	B2020WDICHSR4JJ	OWNER GC								120	1			ELECTRONIC LOCK OUTER DOOR. ELECTRONIC TIME DELAY LOCK INNER DOOR.
D5 1 MONEY COUNT MACHINE	TELLERMATE	TX114	OWNER OWNE	R							120	1			
06 1 OFFICE COMPUTER	IBM		OWNER OWNE	R							120	1			
1 OFFICE PRINTER/FAX/COPIER	HEWLETT-PACKARD		OWNER OWNE	R							120	1			
1 MUSIC SYSTEM	DMX		OWNER OWNE	R							120	1			
9 1 SECURITY ALARM SYSTEM	DIEBOLD	DS7090	OWNER OWNE								120	1			
0 1 KEYBOARD TRAY		LOCATED AT MANAGER'S DESK	OWNER GC												
11 1 15" POS MONITOR WITH WALL MOUNTED ARM & BUMP BAR	NEC	ACCUSYNC LCD52V	OWNER GC								120	1			
2 1 COAT HOOK RACK			OWNER GC												
3 1 FILE CABINET (TWO-DRAWER)			OWNER GC												
T14 2 LOCKERS	WIN-HOLT	WL-66	OWNER GC												
T15 1 DESK CHAIR (OFFICE)			OWNER GC								<del></del>	<del>-                                      </del>		<del>                                     </del>	

## **AUNTIE ANNE'S**

MARK	QTY	DECRIPTION	MFG	MODEL#	HOT	COLD	WASTE	VOLTS	COMMENTS	SUPPLIED BY	INSTALLED BY
1	4	POS	REVEL					120	2 OF 4 ARE SELF ORDER	REVEL	REVEL
2	1	HEATED PRETZEL DISPLAY	ROUNDUP	DCH-320		<b>=</b>		120	OUTLET UNDER COUNTER	TENANT	GC
3	1	FROZEN DRINK DISPENSER	BUNN	ULTRA-2	•	<b>:</b>	<b>.</b>	120		TENANT	GC
4	1	LEMONADE DISPENSER	CRATHCO	D25-4	•		<u> </u>	120		TENANT	GC
7	1	DIP SINK, CORIAN	SPROVIERI	RS-1222 CUSTOM			13/4		PLUMBER TO SUPPLY DRAIN	TENANT	GC
7A	1	DIP SINK FAUCET, 6" SINGLE PANTRY	COMPONENT HARDWARE	KL64-9002-RE1		1/2	1			TENANT	GC
8	1	HOT WATER DISPENSER	BUNN	H5X Element SST		1/2	₿	120		TENANT	GC
9	1	MIXER	HOBART	HL200				120		TENANT	GC
9A	1	MIXER STAND	ADVANCE TABCO	SAG-MT-300	1	•			30"X30"	TENANT	GC
10	3	BUTTER WARMER	APW WYOTT	WU-3I	•		<b>-</b>	120		TENANT	GC
11.	2	ELECTRIC OVEN	BAKERS PRIDE	P44S	3	2	<u></u>	208		TENANT	GC
11A	0	ELECTRIC OVEN	BAKERS PRIDE	P22S			<u> </u>	208	WIRE FOR 2 FUTURE UNITS	TENANT	GC
12	1	MICROWAVE	MENUMASTER	MCS10TS	•		<b>.</b>	120		TENANT	GC
13	1	THREE BIN STORAGE	FARIBO	P434 C/A-P	ı		<b>—</b>	=		TENANT	TENANT
15	1	STAINLESS STEEL TRAY WIPE	=							TENANT	GC
16	1	UNDER COUNTER BAG STORAGE	=			E	<u></u>	-		TENANT	TENANT
19	1	SPEED RACK, UNDER COUNTER	CHOICE EQUIP	PR10-A-187H-PT-Z	I.			<u>=</u> 5		TENANT	TENANT
20	1	HOT DOG WARMER	SERVER	FS-4 #81000	<u> </u>	<b>.</b>	<b>-</b>	120		TENANT	GC
21	1	UNDER COUNTER REFRIGERATOR	HOSHIZAKI	CRMR27-LP	•		<u> </u>	120	SUPPLIED W/ CASTORS	TENANT	GC
24	1	24"H SNEEZE GUARD WITH CLAMPS	=	•			<b>.</b>	<b></b>	3/8" CLEAR TEMPERED	GC	GC
25	1	UNDER COUNTER FREEZER	HOSHIZAKI	CRMF27-LP	1		<b>=</b>	120		TENANT	GC
29	<b>,1</b>	HOT WATER DISPENSER	IN-SINK-ERATOR	C1300		1/4		120	INSTALLED AT DIP SINK	TENANT	GC
45	2	DRIP RACK WALL SHELVES	METRO	12"X36", 12"X48"			<b>.</b>			TENANT	GC
46	4:	DRIP RACK WALL SHELVES	METRO	2-18"X36", 2-18"X48"			l <del>imi</del> s	Ę.		TENANT	GC
49	1	DROP-IN ICE BIN, MEDIUM	KROWNE	D278	•		1/2		w/ OPTIONAL COLD PLATE	TENANT	GC
51	1	DUNNAGE RACK	METRO	BOW TIE SERIES			<u> </u>	2	REFER TO PLAN FOR SIZE	TENANT	GC

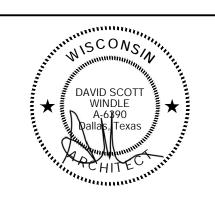
-									- 1
	л		<u> </u>		1			1	w w
SNEEZEG	UARD CLAMPS (#24) - TENANT TO ORDE	R DIRECTLY FROM WASSERS	TROM						
LOCATIO	N - END OF ROLLING COUNTER								
QTY	DESRIPTION	WASSERSTROM MODEL#							
3	CRL CHROME FIXED PANEL CLAMP	6039934							
0	CRL CHROME 180-DEGREE CLAMP	6039935							
1	CRL CHROME RIGHT HAND CLAMP	6039930							
0	CRL CHROME LEFT HAND CLAMP	6039932							
Q	CRL CHROME 90-DEGREE SLEEVE	6039933							
0	CRL CHROME 135-DEGREE SLEEVE	6042140							
SMALLWA	ARES ITEMS TO BE ORDERED BY TENANT	& DELIVERED TO MILLWORE	CONTRACTOR (ORDER	R & SHIP PR	E-CONSTR	UCTION, P	RIOR TO M	AIN SMALLWARES ORDER	R)
QTY	DESRIPTION	WASSERSTROM MODEL#							
1	CORIAN DIP STATION SINK (#7)	6051404							
0	CORIAN HAND SINK	6040280							
0	DRAIN FOR CORIAN HAND SINK	6038510							
0	SWING GATE KIT	6038880			_				
O	SWING GATE LATCH	6040200							
	SS TRAY WIPE INSERT (#15)	6040213							
4	i i	Ū							

ARCHITECT:

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01/31/22

JAMBA/AUNTIE ANNE'S
MADISON WISCONSIN
650 STATE STREET
MADISON, WI 53703

) <sub>'</sub>	<u>&gt;</u>	(92)	M M	 )
		#103706		
	DESCRIF	PTION		
	0140155			

IENT: TWISTED PRETZEL, INC CESAR HERNANDEZ

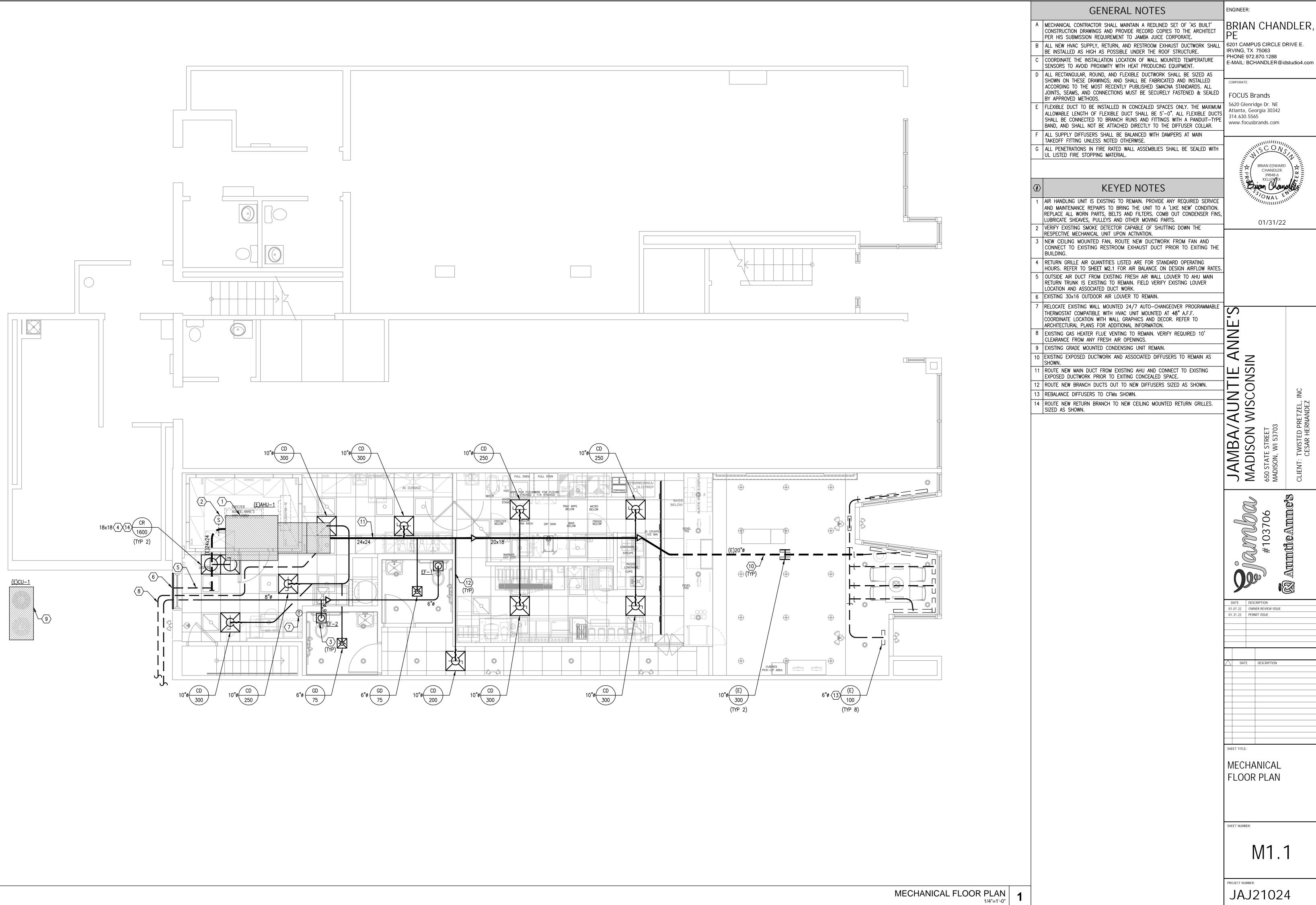
.31.22	PERMIT ISSUE						
DAT	E	DESCRIPTION					
FFT T	ITI F						

EQUIPMENT

SCHEDULE

SHEET NUMBER:

EQ2.2



BRIAN CHANDLER

6201 CAMPUS CIRCLE DRIVE E.



TWISTED PRETZEL, I CESAR HERNANDEZ

7	DAT	E	DESCRIPTION

FAN SCHEDULE											
MARK	SERVICE	CFM	E.S.P. "WG	RPM	MOTOR HP	VOLTS/ PH	MANUFACTURER	MODEL	TYPE	WEIGHT	NOTES
EF-1	RESTROOM	100	0.25	950	18 W	115/1	GREENHECK	SP-A110	CEILING CABINET FAN	17	1,2,4
EF-2	RESTROOM	100	0.25	950	18 W	115/1	GREENHECK	SP-A110	CEILING CABINET FAN	17	1,2,4

- ADJUSTABLE

ELBOW RINGS

—— EQUAL TO REQ'D

**AIRFLOW** 

BRANCH TAKE-OFF FITTING DETAIL

CEILING MOUNTED CABINET FAN DETAIL

-1" MIN. ON TOP

AND BOTTOM

1/4 BRANCH

DUCT WIDTH,

BUT MIN. 4"

EQUAL TO REQ'D

BRANCH DUCT

DIMENSIONS

SCALE: NONE

SCALE: NONE

1" MIN. ON TOP -

MAIN DUCT

SEAL BRANCH-

TAKEOFF AIR

TIGHT

AND BOTTOM

DUCT

FAN IS EXISTING TO BE REMAIN. PROVIDE GRAVITY BACKDRAFT DAMPER.

FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR. FAN TO BE TIED TO LIGHT SWITCH FOR SIMULTANEOUS OPERATION.

#### TEST AND BALANCE NOTES

- THE GENERAL CONTRACTOR SHALL SUBCONTRACT TO AN INDEPENDENT AIR TEST AND BALANCE CONTRACTOR FOR THE TESTING. ADJUSTING AND BALANCING OF ALL ENVIRONMENTAL SYSTEMS SHOWN OR SPECIFIED ON THE CONTRACT DOCUMENTS. THIS SHALL INCLUDE EQUIPMENT OPERATION IN COOLING, HEATING, AND DEHUMIDIFCATION OPERATIONAL MODES. THE WORK SHALL BE PERFORMED BY A FIRM CERTIFIED BY EITHER AABC OR NEBB, AND FOUR (4) COPIES OF THE FINAL REPORT, SUBMITTED ON CERTIFYING AGENCY FORMS, SHALL BE SUBMITTED TO THE JAMBA CONSTRUCTION MANAGER FOR APPROVAL. THE REPORT SHALL BEAR THE CERTIFICATION SEAL OF THE TAB SUPERVISOR IN CHARGE. REPORTS SHALL CONTAIN ALL AIR SIDE BALANCING DATA, INSTRUMENTS USED AND THEIR LATEST CALIBRATION DATES, PERSON(S) PERFORMING THE WORK AND A WRITTEN GUARANTEE THAT ALL TAB WORK WAS PERFORMED IN ACCORDANCE WITH THE CERTIFYING AGENCY STANDARDS AND PROCEDURES.
- THE TEST AND BALANCE REPORT SHALL INCLUDE OPERATIONAL DATA FOR EVERY COMPONENT OF THE COMPLETE MECHANICAL SYSTEM INCLUDING HVAC EQUIPMENT, HVAC AIR DEVICES, RESTROOM FANS, ETC. THIS DATA SHALL INCLUDE THE BALANCED OPERATING DATA FOR EQUIPMENT AS COMPARED TO THE DESIGN AIR BALANCE SCHEDULE ON THIS SHEET. . FOR CLARIFICATION, THE ENGINEER OF RECORD WILL NOT BE ABLE TO REVIEW THE INSTALLED MECHANICAL SYSTEMS FOR POTENTIAL

-RIGID ROUND DUCT JOINT

-INSULATED SHEETMETAL

SUPPLY DUCT. SEALED PER SPECIFICATIONS.

-T-BAR TYPE/GYP

SUSPENDED CEILING

SCALE: NONE

SCALE: NONE

SCREWED & SEALED

OPERATIONAL ISSUES OR INSTALLATION DEFICIENCIES WITHOUT THE FULL AND COMPLETE TEST AND BALANCE REPORT.

UNIT TAG	(E)AHU-1	_
YORK MODEL NO.	NJ-10	_
INSTALLED (LBS)	EXISTING	_
FAN SECTION		
MOTOR HP	EXISTING	_
RATED CFM	4000	_
DRIVE	MED	-
E.S.P. (IWG)	EXISTING	_
MIN. OUTDOOR AIR (CFM)	800	_
FURNACE GAS HEAT		
MANUFACTURER	MODINE	_
AMBIENT DB (°F)	-11	_
INPUT (MBH)	EXISTING	_
OUTPUT (MBH)	EXISTING	_
M.A.T. DB (°F)	EXISTING	_
TEMPERATURE RISE (°F)	EXISTING	_
LEAVING AIR TEMP. (°F)	EXISTING	_
POWER SUPPLY	115/1/60	_
SUPPLY FAN ELECTRIC DATA		
VOLTS/PH/HZ	208/3/60	_
MIN. CIR. AMPS	EXISTING	_
MOCP	EXISTING	-
MIN. COOLING PERFORMANCE		
YORK MODEL NO.	NJ-10	_
NUMBER OF CIRCUITS	2	-
ENTERING DB/WB (°F)	80/67	_
AMBIENT DB (°F)	90	_
SENS. CAP. (MBH)	99.2	_
TOTAL CAP. (MBH)	124.0	
AIR COOLED CONDENSER UNIT		
UNIT TAG	(E)CU-1	
YORK MODEL NO.	YJ-10C	_
NOMINAL CAPACITY (TONS)	10.0	_
INSTALLED (LBS)	EXISTING	_
EER	11.2	
ELECTRIC DATA		
VOLTS/PH/HZ	208/3/60	
MIN. CKT AMPS	42	
MOCP	50	

**EXISTING SPLIT SYSTEM SCHEDULE** 

- AIR HANDLING UNIT IS EXISTING TO REMAIN. FIELD VERIFY ALL SPECIFICATIONS SHOWN HERE AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- PROVIDE ANY REQUIRED SERVICE AND MAINTENANCE REPAIRS TO BRING THE UNIT TO A 'LIKE NEW' CONDITION. REPLACE ALL WORN PARTS, BELTS AND FILTERS. COMB OUT CONDENSER FINS, LUBRICATE SHEAVES, PULLEYS AND OTHER MOVING PARTS.
- BALANCE AIRFLOWS FOR S/A AND O/A TO VALUES NOTED ABOVE.

- RIGID ROUND

FOR SIZE

RETURN AIR DUCT.

REFER TO PLAN

	MECHANICAL LEGEND  SYMBOL ABBR. DESCRIPTION				
STIMBOL	CD	CEILING DIFFUSER — SUPPLY			
	CD	CEILING DIFFUSER BELOW DUCT — SUPPLY			
	SAD	RISER — SUPPLY AIR DUCT			
$\boxtimes$	SAD	DROP — SUPPLY AIR DUCT			
	CR	CEILING REGISTER - RETURN			
	CR	CEILING REGISTER BELOW DUCT — RETURN			
	RAD	RISER — RETURN AIR DUCT			
	RAD	DROP — RETURN AIR DUCT			
	CE	CEILING REGISTER — EXHAUST			
	CE	CEILING REGISTER BELOW DUCT — EXHAUST			
	EAD	RISER — EXHAUST AIR DUCT			
<u>{}</u>	(L)	LINED DUCTWORK			
	VD	MANUAL VOLUME DAMPER			
	FC	FLEXIBLE CONNECTION			
<del></del>		NEW DUCT			
TAG		AIR DEVICE DESIGNATION			
(T)	TSTAT	PROGRAMMABLE THERMOSTAT			
S	SENS	REMOTE TEMPERATURE SENSOR			
<b>(S)</b>	SD	SMOKE DETECTOR			
$\oplus$	POC	POINT OF CONNECTION			
	CFM	CUBIC FEET PER MINUTE			
	S/A	SUPPLY AIR			
	R/A	RETURN AIR			
	O/A	OUTSIDE AIR			
	E/A	EXHAUST AIR			
	S.P.	STATIC PRESSURE			

O/A VENTILATION SCHEDULE							
AREA SERVED	VENTILAT	TON (OCCUPANC)	<b>(</b> )	VE	NTILATION	(AREA)	
AREA SERVED	# OF PPL	CFM/PERSON	CFM	SF	CFM/SF	CFM	
CUSTOMER	12	7.5	90	410	0.18	74	
KITCHEN/BOH	10	7.5	75	855	0.12	103	
RESTROOMS	1	-	-	150	1	_	
SUBTOTALS	165 226						
TOTAL O/A REQUIRED 391 CFM							

NOTES: 1. CALCULATIONS ARE BASED ON 2015 IMC, TABLE 402.1 OUTDOOR AIR DEMAND IS: - 391 CFM OUTDOOR AIR PROVIDED IS: + 800 CFM OUTDOOR AIR DIFFERENCE IS: + 409 CFM

	AIR DEVICE SCHEDULE								
MARK	FACE SIZE	TYPE	MOUNTING TYPE	MAXIMUM N.C.	DIRECTION	MANUF.	MODEL	NOTES	
CD	24X24	SUPPLY	LAY-IN/ SURFACE	30	4-WAY	TITUS	PAS	1,2,3,4	
GD	12X12	SUPPLY	SURFACE (GYP)	30	4-WAY	TITUS	PAS	1,2,3,4	
DD	12X8	SUPPLY	DUCT MOUNTED	30	1-WAY	TITUS	300RS	1,2,3,4	
CR	24X24	RETURN	LAY-IN	30	1-WAY	TITUS	PAR	1,2,3	

NOTES: (NOT ALL MAY APPLY)

- PROVIDE NECESSARY MOUNTING HARDWARE AND ACCESSORIES AS REQUIRED. ALL AIR DEVICES IN THE FRONT OF HOUSE SHALL HAVE MANUFACTURER APPLIED STANDARD
- WHITE FINISH UNLESS NOTED OTHERWISE. REFER TO ARCHITECTURAL DRAWINGS FOR RCP COORDINATION.
- AIR DEVICE SHALL BE OF STEEL CONSTRUCTION.
- INSULATION BACKING. FIELD FABRICATED INSULATION BACKING IS NOT ALLOWED UNLESS FIRST APPROVED BY THE OWNER'S CONSTRUCTION MANAGER.

MECHANICAL LEGEND						
SYMBOL	ABBR.	DESCRIPTION				
$\boxtimes$	CD	CEILING DIFFUSER — SUPPLY				
\[\bar{\bar{\bar{\bar{\bar{\bar{\bar{	CD	CEILING DIFFUSER BELOW DUCT — SUPPLY				
	SAD	RISER — SUPPLY AIR DUCT				
$\boxtimes$	SAD	DROP — SUPPLY AIR DUCT				
	CR	CEILING REGISTER — RETURN				
	CR	CEILING REGISTER BELOW DUCT — RETURN				
	RAD	RISER — RETURN AIR DUCT				
	RAD	DROP — RETURN AIR DUCT				
	CE	CEILING REGISTER — EXHAUST				
	CE	CEILING REGISTER BELOW DUCT — EXHAUST				
	EAD	RISER — EXHAUST AIR DUCT				
<b>====</b>	(L)	LINED DUCTWORK				
	VD	MANUAL VOLUME DAMPER				
	FC	FLEXIBLE CONNECTION				
		NEW DUCT				
TAG		AIR DEVICE DESIGNATION				
①	TSTAT	PROGRAMMABLE THERMOSTAT				
S	SENS	REMOTE TEMPERATURE SENSOR				
(S)	SD	SMOKE DETECTOR				
0	POC	POINT OF CONNECTION				
	CFM	CUBIC FEET PER MINUTE				
	S/A	SUPPLY AIR				
	R/A	RETURN AIR				
	0/A	OUTSIDE AIR				
	E/A	EXHAUST AIR				

AIR DEVICE SCHEDULE								
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GD	12X12	SUPPLY	SURFACE (GYP)	30	4-WAY	TITUS	PAS	1,2,3,4
DD	12X8	SUPPLY	DUCT MOUNTED	30	1-WAY	TITUS	300RS	1,2,3,4
CR	24X24	RETURN	LAY-IN	30	1-WAY	TITUS	PAR	1,2,3

- AIR DEVICE SHALL BE INSTALLED COMPLETE WITH MANUFACTURER AVAILABLE MOLDED

CENIEDAL	MOTEC
GENERAL	INOTES

- NOTE: FOR THE PURPOSE OF CLEARNESS AND LEGIBILITY, THE DRAWINGS ARE ESSENTIALLY DIAGRAMMATIC AND ALTHOUGH SIZES AND LOCATIONS OF EQUIPMENT ARE DRAWN TO SCALE WHEREVER POSSIBLE, THE CONTRACTOR SHALL MAKE USE OF ALL DATA IN ALL OF THE CONTRACT DOCUMENTS AND VERIFY THIS INFORMATION PRIOR TO ORDERING, FABRICATING OR INSTALLING ANY MATERIALS.
- THE MECHANICAL CONTRACTOR SHALL PROVIDE COMPLETE INFORMATION AND COOPERATE WITH THE OTHER CONTRACTORS AND TRADES AS REQUIRED FOR
- THE COMPLETION AND COORDINATION OF THE COMPLETE PROJECT. UNLESS OTHERWISE SPECIFIED, CONTRACTOR SHALL PROVIDE ALL EQUIPMENT, MATERIALS, LABOR AND SUPERVISION NECESSARY TO COMPLETE THE HEATING
- THE MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ADMINISTERING ALL WARRANTIES ON EQUIPMENT WHICH THEY FURNISH AND INSTALL.

VENTILATING AND AIR CONDITIONING WORK.

- ALL COMPONENTS AND EQUIPMENT SHALL BE PROVIDED WITH AN EASE OF
- SERVICE AND MAINTENANCE AS REQUIRED BY CODE AND THE LANDLORD. CONTRACTOR SHALL PROVIDE PRODUCT DATA SUBMITTALS FOR ALL EQUIPMENT AND DEVICES TO THE OWNER FOR HIS REVIEW AND/OR APPROVAL PRIOR TO THE PURCHASE OF ANY SUCH EQUIPMENT OR DEVICES.
- PROVIDE WRITTEN WARRANTY TO REPLACE ALL FAULTY MATERIALS AND/OR LABOR, AT NO COST TO TENANT, FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE. PROVIDE 5 YEAR COMPRESSOR WARRANTY FOR AC UNIT(S). WARRANTIES SHALL BEGIN ON THE DATE OF SUBSTANTIAL COMPLETION.
- COORDINATE ALL WORK WITH ARCHITECTURAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER AND STRUCTURAL CONTRACTORS. INSTALL ALL WORK TO CLEAR
- SUCH AS PIPE, DUCT, ETC. IS TO BE IN CONTACT WITH ANY EQUIPMENT. ALL OUTDOOR AIR INTAKE FOR MECHANICAL EQUIPMENT SHALL HAVE A MINIMUM 10'-0" HORIZONTAL CLEARANCE FROM THE DISCHARGE OF ANY

NEW AND EXISTING ARCHITECTURAL AND STRUCTURAL MEMBERS. NO ITEM

PROVIDE VIBRATION ISOLATION DEVICES AND FLEXIBLE DUCT/ PIPING CONNECTIONS TO ALL MOVING MACHINERY NOT INTERNALLY ISOLATED.

EXHAUST FAN OR PLUMBING VENT.

- 1 I ALL DUCT DIMENSIONS SHOWN ON DRAWINGS ARE CLEAR INSIDE DIMENSIONS
- THE MECHANICAL CONTRACTOR SHALL COORDINATE ALL DUCT AND DIFFUSER LOCATIONS WITH SPRINKLER PIPING, SPRINKLER HEADS AND LIGHT FIXTURES AS REQUIRED FOR A COMPLETE INSTALLATION.
- THE MECHANICAL CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR AND OTHER TRADES ALL REQUIRED OPENINGS AND PENETRATIONS. ALL REQUIRED OPENINGS IN FOUNDATIONS, FLOORS, WALLS AND ROOF SHALL BE CONSTRUCTED INTO THE STRUCTURE WITH THE USE OF SLEEVES, CURBS, ETC. CUTTING AND PATCHING SHALL BE HELD TO A
- 4 ALL ITEMS PROJECTING THROUGH THE ROOF SHALL BE FLASHED THROUGH CURBS OR PIPE SEALS A MINIMUM OF 12" ABOVE THE ROOF. THE PIPE CURBS AND SEALS SHALL BE INSTALLED BY THE ROOFING CONTRACTOR. ENSURE THAT AMPLE BOOT OPENINGS ARE PROVIDED TO ACCOMMODATE ANY ELECTRICAL CONDUIT PENETRATIONS REQUIRED FOR POWER.
- COORDINATE THE INSTALLATION AND FINISH OF ALL SUPPLY AND RETURN AIR DEVICES. AIR DEVICES LOCATED IN GUEST AREAS SHALL BE FACTORY FINISHED WHITE UNLESS NOTED OTHERWISE PER THE ARCHITECTURAL DRAWINGS FINISH
- THERMOSTATS AND REMOTE SENSORS SHALL BE LOCATED AT 48" A.F.F. MAX EXACT LOCATIONS SHALL BE FIELD COORDINATED TO AVOID INTERFERENCE WITH WALL-MOUNTED WORK.
- THERMOSTATS SHALL BE RTU MANUFACTURER AVAILABLE 24/7 AUTOMATIC CHANGEOVER TYPE TO SEQUENCE HEATING AND COOLING. SET POINT RANGE SHALL BE 10°F BETWEEN FULL HEATING AND FULL COOLING. ADJUSTABLE TEMPERATURE DIFFERENTIAL SHALL BE  $1-1/2^{\circ}$ F. THERMOSTAT CONTROL RANGE SHALL BE 55°F TO 85°F. CONTROLS SHALL HAVE CAPABILITY OF TERMINATING HEATING AT NO HIGHER THAN 70°F AND COOLING AT NO LOWER THAN 75°F.
- 8 | ROOFTOP UNITS SHALL BE SET TO RUN IN "FAN CONTINUOUS" MODE DURING OCCUPIED HOURS. DURING NIGHT SET-BACK HOURS, THE AIR HANDLING UNITS SHALL RUN IN "FAN AUTO" MODE. CONTRACTOR SHALL COORDINATE NECESSARY CONTROL WIRING REQUIREMENTS WITH THE MANUFACTURER TO ACCOMPLISH THIS CONTROL SEQUENCE.
- $\Theta$  | ROOF CURBS FOR ROOFTOP UNIT(S) SHALL BE FACTORY FABRICATED OF FULL WELDED STEEL CONSTRUCTION WITH WOOD NAILER. VERIFY REQUIREMENTS FOI THE ROOF CURBS WITH THE EQUIPMENT SUPPLIER. THE GENERAL CONTRACTOR SHALL FLASH ROOF CURBS AND SHIM DEAD LEVEL. COORDINATE EXACT SIZE AND LOCATION OF ROOF OPENINGS WITH THE STRUCTURAL FRAMING. CUTTING OF STRUCTURAL MEMBERS IS NOT PERMITTED.
- MECHANICAL CONTRACTOR TO FURNISH AND INSTALL 4" HIGH BLACK OVER WHITE LAMINATE NAMEPLATE WITH 2" LETTERS VISIBLE ADJACENT TO DISCONNECT SWITCH FOR ROOFTOP UNIT(S) AND ROOF MOUNTED FAN(S).
- LINE VOLTAGE WIRING, ALL CONDUIT DISCONNECT SWITCHES AND FINAL CONNECTION BY ELECTRICAL CONTRACTOR. LOW VOLTAGE CONDUIT AND WIRING AND FINAL CONNECTION BY MECHANICAL CONTRACTOR.
- 22 ALL METAL HVAC SUPPLY AND RETURN DUCTWORK SHALL BE INSTALLED AS FOLLOWS:
- CONCEALED HVAC AND MAKEUP AIR DUCTWORK WITHIN THE BUILDING SHALL BE EXTERNALLY WRAPPED AND SECURED WITH MINIMUM R-8.0, 2" INSULATION WITH VAPOR BARRIER PER THE 2015 INTERNATIONAL MECHANICAL CODE, WITH LOCAL AMENDMENTS. INSULATION SHALL HAVE MAXIMUM RATINGS OF 25 FLAME SPREAD, 50 SMOKE DEVELOPED.
- EXPOSED DUCTWORK WITHIN THE BUILDING SHALL BE INTERNALLY LINED SPIRAL AND PINNED WITH MINIMUM R-6.0. 1" INSULATION WITH VAPOR BARRIER PER THE 2015 INTERNATIONAL MECHANICAL CODE WITH LOCAL AMENDMENTS. INSULATION SHALL HAVE MAXIMUM RATINGS OF 25 FLAME SPREAD, 50 SMOKE DEVELOPED. REFER TO SPECS.
- COORDINATE THE INSTALLATION AND FINISH OF ALL SUPPLY AND RETURN AIR DEVICES. AIR DEVICES LOCATED IN GUEST AREAS SHALL BE PAINTED PER TH ARCHITECTURAL DRAWINGS FINISH SCHEDULE. ALL INTERIOR FACES OF DUCTWORK BEHIND RETURN AIR GRILLES SHALL BE PAINTED FLAT BACK FOR LINE OF SIGHT.
- 24 SUPPLY, RETURN, AND RESTROOM EXHAUST DUCT CONSTRUCTION SHALL BE GALVANIZED STEEL. ANY REQUIRED GAUGES, SWAY BRACING AND SUSPENSION SHALL CONFORM TO SMACNA STANDARDS. SEAL ALL SEAMS AND JOINTS AIR AND WATER TIGHT. FLEXIBLE ALUMINUM DUCTWORK OR FIBERGLASS DUCTBOARD IS NOT ALLOWED (UNO).
- THE MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING THE AIR FILTERS AT THE ROOFTOP UNITS WITH 2" THICK MERV 12 THROW AWAY TYPE AIR FILTERS AT THE COMPLETION OF CONSTRUCTION AND PRIOR TO AIR BALANCE AND STORE TURNOVER.
- 26 A FULL MECHANICAL AIR TEST AND BALANCE REPORT SHALL BE PERFORMED BY AN INDEPENDENT CONTRACTOR.
- PRIOR TO STARTUP OF HVAC EQUIPMENT, MECHANICAL CONTRACTOR WILL CONFIRM WITH HVAC MANUFACTURER THAT CORRECT POWER IS PROVIDED TO HVAC UNITS AND HAS BEEN TURNED ON A MINIMUM OF 24 HOURS. JAMBA JUICE RESERVES THE RIGHT TO CHECK CONSTRUCTION COMPLIANCE WITH PLANS AND SPECIFICATIONS. SHOULD JAMBA JUICE FIND CORRECTIVE WORK TO BE NECESSARY, THEY WILL NOTIFY CONTRACTOR OF SUCH WORK IN WRITING AND EXPECT COMPLIANCE PERFORMED WITH DUE DILIGENCE. IF ANY CORRECTIVE WORK IS DEEMED TO BE NECESSARY, THE COST OF REINSPECTIONS WILL BE BORNE BY THE CONTRACTOR.
- 28 MECHANICAL CONTRACTOR SHALL BE ON SITE AND PRESENT AT THE DATE OF STORE TURNOVER.

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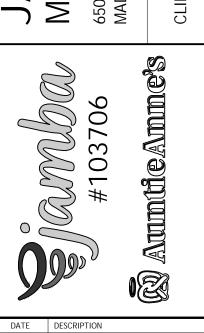


01/31/22

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TWISTED PRETZEL, CESAR HERNANDEZ

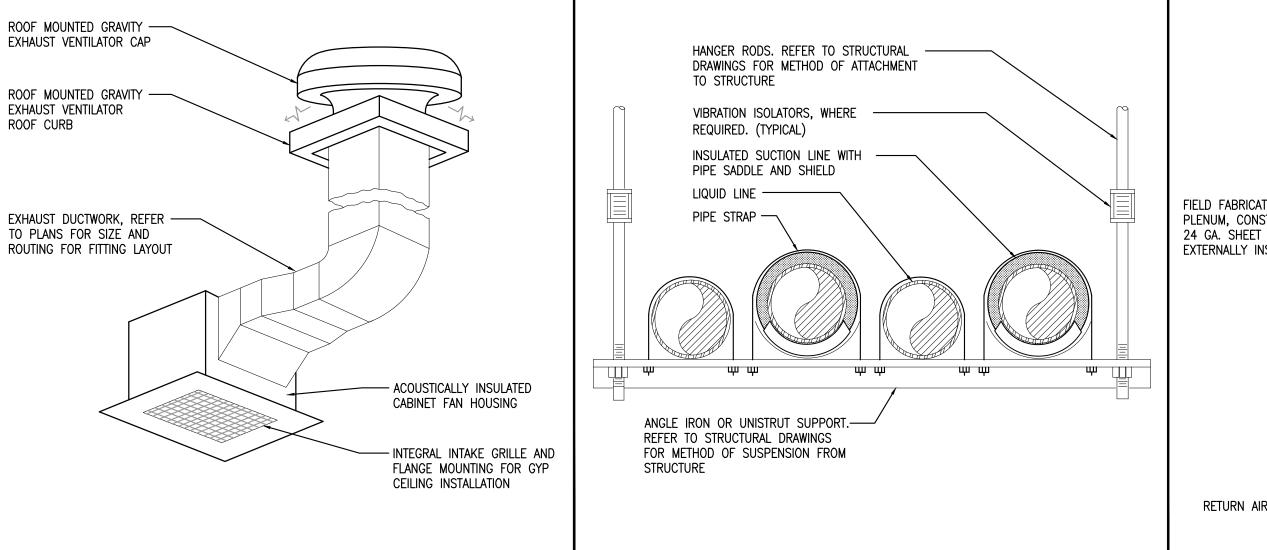


01	.07.22	OWN	OWNER REVIEW ISSUE					
01	.31.22	PERM	PERMIT ISSUE					
^								
$\triangle$	DAT	E	DESCRIPTION					
1	09.15.	21	PORT AUTHORITY COMMENTS					
SHE	ET TITLE	:						

**MECHANICAL** SCHEDULES AND DETAILS

SHEET NUMBER:

JAJ21024



TIE OFF TO —

NYLON DRAW

BAND (TYP)

SUPPORT

METAL BAND-

- FLEX DUCT WITH 2"

EXTERNAL INSULATION

- PROVIDE 1" BLANKET

INSULATION COVERING

- SUPPLY AIR DIFFUSER

WITH ROUND NECK

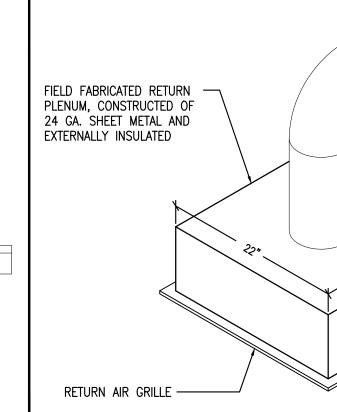
CEILING MOUNTED SUPPLY AIR DIFFUSER DETAIL

HORIZONTAL REFRIGERANT PIPE SUPPORT DETAIL

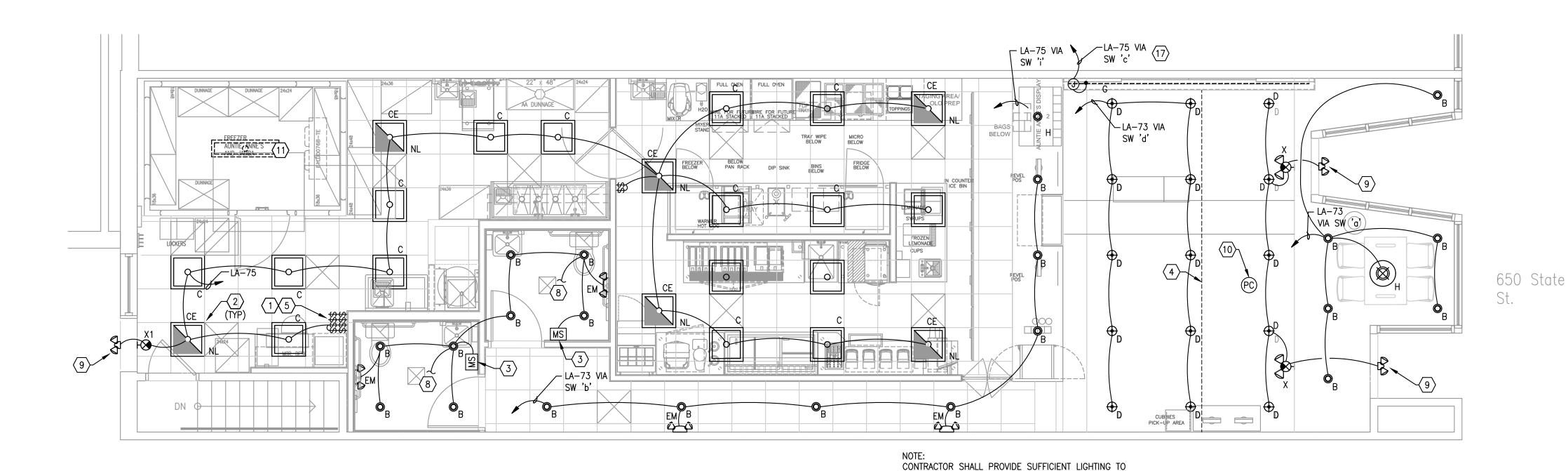
AIR DEVICE BACK

MAX. LENGTH 5'-0"

ROOF STRUCTURE



CEILING MOUNTED RETURN AIR GRILLE DETAIL SCALE: NONE



MAINTAIN AT LEAST 50 FOOT-CANDLE (FT-C)

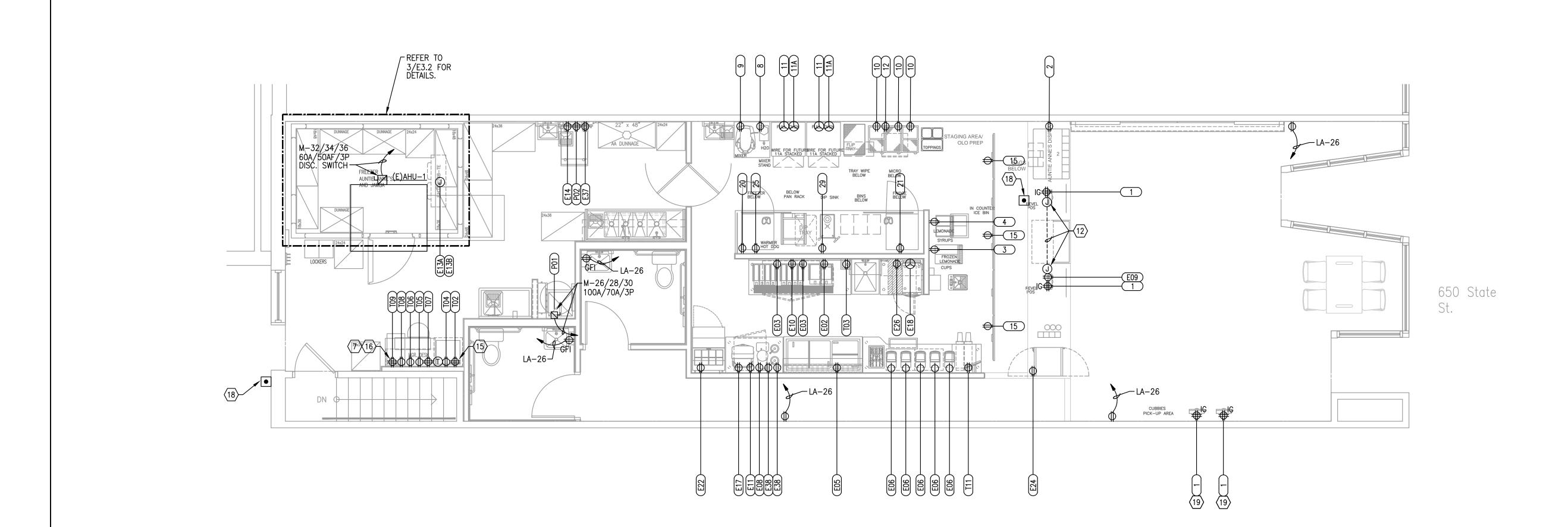
FREEZER UNITS) MAY OPERATE WITH A LIGHT

INTENSITY OF AT LEAST 10 FT-C.

INTENSITY DURING HOURS OF OPERATION IN THE KITCHEN AND OTHER FOOD HANDLING AREAS. OTHER

AREAS (INCLUDING WALK-IN REFRIGERATORS AND

LIGHTING PLAN



#### GENERAL NOTES

- "VERIFY IN FIELD" OR "EXISTING" MEANS THE CONTRACTOR IS TO CONFIRM THE ITEM SHOWN ON THE DRAWING (I.E. EQUIPMENT, DUCT, WIRE, ETC.) EXISTS AT THE SITE AND IS IN GOOD WORKING CONDITION. SHOULD THE CONTRACTOR FIND THAT THE EQUIPMENT, DUCT, WIRE, ETC. IS NOT THE EQUAL TO THAT SHOWN ON THE DRAWING, IT IS TO BE REPLACED, IF THE CONTRACTOR HAS ANY QUESTION ABOUT WHETHER IT IS EQUAL TO WHAT IS SHOWN ON THE DRAWING, THE CONTRACTOR IS TO E-MAIL: BCHANDLER@idstudio4.com CONTACT THE DESIGN ENGINEER AND JAMBA JUICE'S PROJECT MANAGER FOR APPROVAL. CONTRACTOR IS TO NOTIFY JAMBA JUICE'S PROJECT MANAGER AND DESIGN ENGINEER IN WRITING OF ALL REPLACEMENT ITEMS PRIOR TO CONSTRUCTION.
- WHERE EXISTING EQUIPMENT (LIGHTS, DIFFUSERS, TOILETS, ETC.) ARE TO BE REUSED, WHETHER IT IS RELOCATED OR REUSED IN THE EXISTING LOCATION, EXTREME CARE SHALL BE TAKEN TO PREVENT DAMAGE DURING THE RENOVATION OF THE STORE. WHERE DAMAGE OCCURS, THE EQUIPMENT SHALL BE REPLACED TO THE SATISFACTION OF THE ARCHITECT, AT NO ADDITIONAL COST TO THE OWNER. ALL ITEMS TO BE THOROUGHLY CLEANED, IF REQUIRED, PAINTED, AND ANY OTHER MAINTENANCE NEEDED TO BRING EQUIPMENT UP TO LIKE NEW CONDITION. THIS INCLUDES RE—LAMPING ALL LIGHTS REUSED.
- X-RAY SLAB BEFORE MAKING PENETRATIONS AND OBTAIN LANDLORD APPROVAL FOR FLOOR PENETRATIONS.
- ALL OUTLET COVERS IN SERVICE, PREP. KITCHEN AND BOH SHALL BE STAINLESS STEEL. RECEPTACLES AND COVER PLATES WITHIN CUSTOMER AREA SHALL MATCH ADJACENT FINISH.
- ALL 125-VOLT, SINGLE PHASE, 15-AMP AND 20-AMP RECEPTACLES LOCATED IN SERVICE AND BACK AREA SHALL BE GFCI PROTECTED AS REQUIRED BY CURRENT NEC.
- OUTLETS MUST NOT CONFLICT WITH EQUIPMENT LEGS. VERIFY WITH SHOP DRAWINGS BEFORE LOCATING OUTLETS.
- REFER TO MECHANICAL DWG.S FOR EXACT SIZE, LOCATION, AND ELEC. REQUIREMENTS FOR ALL MOTORS AND MECHANICAL EQUIPMENT. COORDINATE WITH MECHANICAL CONTRACTOR AND PROVIDE ELECTRICAL
- CONNECTIONS AS REQUIRED FOR A COMPLETE AND OPERABLE SYSTEM. POS SYSTEM BRANCH CIRCUITING SHALL BE ROUTED WITHIN ITS OWN DEDICATED CONDUIT RACEWAY. NO OTHER BRANCH CIRCUITS SHALL BE ROUTED WITHIN IT.
- ALL NEW POWER AND LIGHTING CONDUITS ON THIS PROJECT SHALL INCLUDE AN INSULATED GREEN EQUIPMENT GROUNDING CONDUCTOR SIZED AS NOTED OR PER NEC WHERE NOT NOTED. THIS GROUNDING CONDUCTOR SHALL BE PROVIDED REGARDLESS OF THE TYPE OF CONDUIT
- COORDINATE EXACT LOCATION, TERMINATIONS, MOUNTING HEIGHTS AND ELECTRICAL CHARACTERISTICS FOR EACH SPECIFIC MODEL AND PIECE OF EQUIPMENT WITH JAMBA JUICE'S REPRESENTATIVE AND KITCHEN EQUIPMENT SUPPLIER PRIOR TO INSTALLATION. PROVIDE ELECTRICAL SERVICE AS REQUIRED FOR EACH PIECE OF EQUIPMENT. ALL RECEPTACLES SHALL BE OF VOLTAGE RATING AND AMPACITY TO MATCH MANUFACTURER'S RECOMMENDATIONS. INCLUDE ALL COSTS IN BASE BID
- EXISTING CONDITIONS SHOWN ARE BASED ON AS-BUILT DRAWINGS PROVIDED BY THE OWNER AND LIMITED FIELD VERIFICATION. CONTRACTOR SHALL ADJUST FOR ACTUAL FIELD CONDITIONS AT NO ADDITIONAL
- EXPENSE TO THE OWNER. REFER TO SHEET E1.1 THROUGH E1.2 FOR CIRCUIT INFORMATION AND

ROUGH-IN HEIGHTS OF ALL TAGGED EQUIPMENT.

CONTACT, E.G., INSIDE REFRIGERATION UNITS.

- THE CONTRACTOR SHALL VERIFY AND INCLUDE IN THEIR FINAL BID ALL LIFE SAFETY, SMOKE/FIRE ALARM SYSTEMS NEEDED TO BRING TENANTS SPACE COMPATIBLE WITH THE LANDLORD'S SYSTEM, AND CURRENT WITH LOCAL AND STATE CODES. FAILURE TO DO SO SHALL RESULT IN NO EXPENSE TO THE TENANT.
- CONTRACTOR SHALL PROVIDE POWER, INTERCONNECTING SERVICES AND ALL FINAL CONNECTIONS TO REACH—IN REFRIGERATOR FOR A COMPLETE OPERATING SYSTEM.
- ALL WIRING, DEVICES AND FIXTURES INSIDE THE WALK-IN FREEZER ARE TO BE VAPOR PROOF. SEAL ALL CONDUIT PENETRATIONS WITH SILICONE. CONTRACTOR SHALL PROVIDE SHATTERPROOF PROTECTION OR CONTAINMENT WHEN LIGHTS ARE LOCATED OVER AREAS USED FOR FOOD PREPARATION (INCLUDING BEVERAGES), UTENSIL WASHING, OPENED FOOD STORAGE, AND WHERE THE LIGHT FIXTURES ARE EXPOSED TO EMPLOYEE

# **KEYED NOTES**

- SWITCH BANK. REFER TO DETAIL 3/E2.1. CONNECT TO UNSWITCHED LEG OF CIRCUIT FOR EMERGENCY, EXIT AND | NIGHT LIGHTING (NL).
- PROVIDE WALL MOUNTED MOTION SENSOR IN RESTROOM. SENSOR SHALL BE WATT STOPPER #WI-300-W UNLESS NOTED OTHERWISE.
- DASHED LINE INDICATES 15' DAY LIGHTING ZONE PER ENERGY CODE. ZONE IS TO BE SWITCHED SEPARATE FROM OTHER AREAS AS SHOWN. PROVIDE DUAL SWITCHING FOR BACK OF HOUSE LIGHTING. DUAL SWITCHING SHALL CONSIST OF EACH SWITCH CONTROLLING EVERY OTHER FIXTURE FOR A 50% REDUCTION IN LIGHTING. COORDINATE SWITCHING CONTROLS WITH OWNER.
- PROVIDE USB COMBINATION RECEPTACLES MOUNTED HORIZONTALLY, REFER TO ARCHITECTURAL SHEETS FOR MOUNTING HEIGHTS.
- TELEPHONE BOARD LOCATION. REFER TO DETAIL 5/E3.1. PROVIDE ALL CONTACTORS AND RELAYS TO INTERLOCK THE EXHAUST FAN TO THE LIGHTING CIRCUIT AND MOTION SENSOR. FIELD VERIFY EMERGENCY EXTERIOR EGRESS LIGHTING EXISTS. IF NONE
- FOUND, PROVIDE NEW EMERGENCY EXTERIOR EGRESS LIGHTING MATCHING THE EXISTING BUILDING EGRESS LIGHTING. CIRCUIT TO NEAREST LIGHTING CIRCUIT AHEAD OF ALL SWITCHING. O CEILING MOUNTED PHOTOCELL AND POWER PACK FOR LIGHTING CONTROL
- OF FIXTURE SHALL BE LOCATED WITHIN 6' OF FRONT OF WINDOWS. PHOTOCELL SHALL OPERATE DURING THE DAY. PHOTOCELL AND POWER PACK SHALL BE EQUAL TO LUTRON WIRED DAYLIGHT SENSOR #EC-DIR-WH WITH THE CAPABILITY OF CONTINUOUS DAYLIGHTING.
- LIGHT FIXTURES IN FREEZER, FURNISHED BY VENDOR, INSTALLED BY G.C. 12 |ROUTE (3) 1" CONDUIT (1 POWER, 1 DATA, 1 SPARE) FROM WALL BELOW SLAB TO STUB-UP LOCATIONS SHOWN. JUNCTION BOXES SHALL BE

SURFACE MTD. BELOW POS STANDS. MAKE FINAL CONNECTION IN

MILLWORK. 3 NOT USED

1/4"=1'-0"

- 4 | MOUNT "SHOW WINDOW" RECEPTACLES +18" ABOVE WINDOW OR IN CEILING ABOVE. COORDINATE LOCATION WITH OWNER. 5 QUAD RECEPTACLES FOR RACK POWER. MOUNT RECEPTACLE AT 100"AFF.
- COORDINATE REQUIREMENTS WITH RACK INSTALLER PRIOR TO ROUGH-IN. 6 FOR SOUND SYSTEM. OUTLET IS MOUNTED AT 60"AFF AT DESK SHELVES. A SOUND SYSTEM WILL BE SUPPLIED AND INSTALLED BY VENDOR.
- CONTACT VENDOR PRIOR TO CONSTRUCTION TO COORDINATE FOR SOUND SYSTEM INSTALLATION, REFER TO 6/E.3.1. MOUNT JUNCTION BOX WITH REMOVABLE COVER PLATE AT 8'-0" ON NARROW FACE OF SOFFIT. JUNCTION BOX SHALL BE INSIDE OF SOFFIT.
- | MOUNT PUSHBUTTON BELOW ORDER COUNTER AND 48"AFF AT REAR DOOR. REFER TO DETAIL 1/E3.1.
- 19 FUTURE SELF-ORDER KIOSK. REFER TO 3/A3.1 FOR DETAILS.

ENGINEER:

**BRIAN CHANDLER** 

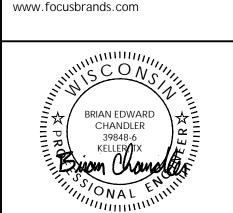
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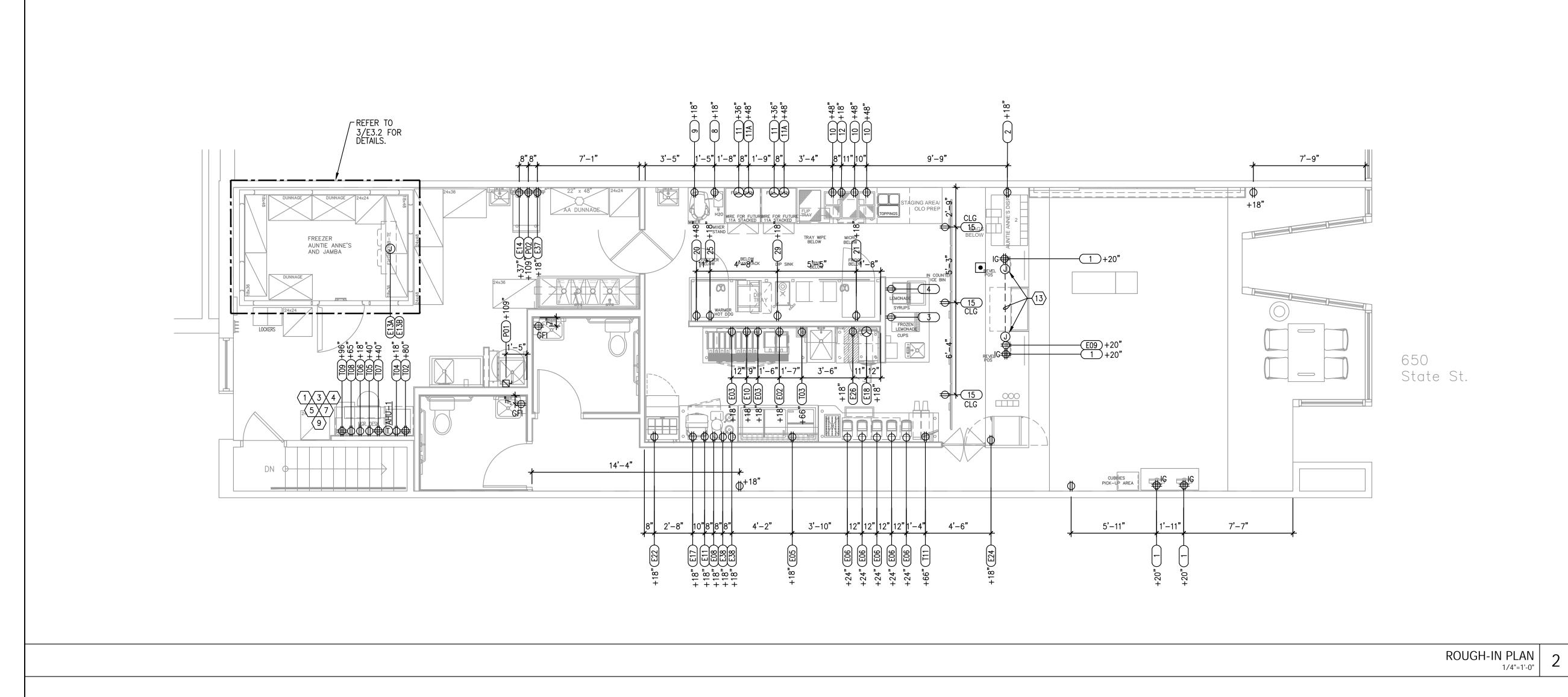
1.07.22 OWNER REVIEW ISSUE

**ELECTRICAL** LIGHTING AND POWER PLAN

SHEET NUMBER:

JAJ21024

POWER PLAN



BELOW
PAN RACK DIP SINK BELOW

7/E3.1 FOR ELEVATION

\_\_\_\_\_\_

3/E3.2 FOR DETAILS.

FREEZER
AUNTIE ANNEE AHU-1

FIRE ALARM

CONTROL

MGR. DESK

DETAILS.



- "VERIFY IN FIELD" OR "EXISTING" MEANS THE CONTRACTOR IS TO CONFIRM THE ITEM SHOWN ON THE DRAWING (I.E. EQUIPMENT, DUCT, WIRE, ETC.) EXISTS AT THE SITE AND IS IN GOOD WORKING CONDITION. SHOULD THE CONTRACTOR FIND THAT THE EQUIPMENT, DUCT, WIRE, ETC. IS NOT THE EQUAL TO THAT SHOWN ON THE DRAWING, IT IS TO BE REPLACED, IF THE CONTRACTOR HAS ANY QUESTION ABOUT WHETHER IT IS EQUAL TO WHAT IS SHOWN ON THE DRAWING, THE CONTRACTOR IS TO E-MAIL: BCHANDLER@idstudio4.com CONTACT THE DESIGN ENGINEER AND JAMBA JUICE'S PROJECT MANAGER FOR APPROVAL. CONTRACTOR IS TO NOTIFY JAMBA JUICE'S PROJECT MANAGER AND DESIGN ENGINEER IN WRITING OF ALL REPLACEMENT ITEMS PRIOR TO CONSTRUCTION.
- WHERE EXISTING EQUIPMENT (LIGHTS, DIFFUSERS, TOILETS, ETC.) ARE TO BE REUSED, WHETHER IT IS RELOCATED OR REUSED IN THE EXISTING LOCATION, EXTREME CARE SHALL BE TAKEN TO PREVENT DAMAGE DURING THE RENOVATION OF THE STORE. WHERE DAMAGE OCCURS, THE EQUIPMENT SHALL BE REPLACED TO THE SATISFACTION OF THE ARCHITECT, AT NO ADDITIONAL COST TO THE OWNER. ALL ITEMS TO BE THOROUGHLY CLEANED, IF REQUIRED, PAINTED, AND ANY OTHER MAINTENANCE NEEDED TO BRING EQUIPMENT UP TO LIKE NEW CONDITION. THIS INCLUDS RELAMPING ALL LIGHTS REUSED.
- X-RAY SLAB BEFORE MAKING PENETRATIONS AND OBTAIN LANDLORD
- APPROVAL FOR FLOOR PENETRATIONS. ALL OUTLET COVERS IN SERVICE, PREP. KITCHEN AND BACK AREA SHALL BE STAINLESS STEEL. RECEPTACLES AND COVER PLATES WITHIN
- ALL 125-VOLT, SINGLE PHASE, 15-AMP AND 20-AMP RECEPTACLES LOCATED IN SERVICE AND BACK AREA SHALL BE GFCI PROTECTED AS

CUSTOMER AREA SHALL MATCH ADJACENT FINISH.

DRAWINGS BEFORE LOCATING OUTLETS.

- REQUIRED BY CURRENT NEC. OUTLETS MUST NOT CONFLICT WITH EQUIPMENT LEGS. VERIFY WITH SHOP
- COORDINATE EXACT LOCATION OF ALL OUTLETS AND EQUIPMENT WIRING WITH KITCHEN EQUIPMENT CONTRACTOR AND MILLWORK CONTRACTOR PRIOR TO INSTALLATION.
- REFER TO MECHANICAL DRAWINGS FOR EXACT SIZE, LOCATION, AND ELECTRICAL REQUIREMENTS FOR ALL MOTORS AND MECHANICAL EQUIPMENT. COORDINATE WITH MECHANICAL CONTRACTOR AND PROVIDE ELECTRICAL CONNECTIONS AS REQUIRED FOR A COMPLETE AND OPERABLI
- POS SYSTEM BRANCH CIRCUITING SHALL BE ROUTED WITHIN ITS OWN DEDICATED CONDUIT RACEWAY. NO OTHER BRANCH CIRCUITS SHALL BE ROUTED WITHIN IT.
- ALL NEW POWER AND LIGHTING CONDUITS ON THIS PROJECT SHALL INCLUDE AN INSULATED GREEN EQUIPMENT GROUNDING CONDUCTOR SIZED AS NOTED OR PER NEC WHERE NOT NOTED. THIS GROUNDING CONDUCTOR SHALL BE PROVIDED REGARDLESS OF THE TYPE OF CONDUIT
- COORDINATE EXACT LOCATION, TERMINATIONS, MOUNTING HEIGHTS AND ELECTRICAL CHARACTERISTICS FOR EACH SPECIFIC MODEL AND PIECE OF EQUIPMENT WITH JAMBA JUICE'S REPRESENTATIVE AND KITCHEN EQUIPMENT SUPPLIER PRIOR TO INSTALLATION. PROVIDE ELECTRICAL SERVICE AS REQUIRED FOR EACH PIECE OF EQUIPMENT. ALL RECEPTACLES SHALL BE OF VOLTAGE RATING AND AMPACITY TO MATCH MANUFACTURER'S RECOMMENDATIONS. INCLUDE ALL COSTS IN BASE BID
- EXISTING CONDITIONS SHOWN ARE BASED ON AS-BUILT DRAWINGS PROVIDED BY THE OWNER AND LIMITED FIELD VERIFICATION. CONTRACTOR SHALL ADJUST FOR ACTUAL FIELD CONDITIONS AT NO ADDITIONAL EXPENSE TO THE OWNER.
- REFER TO SHEET E1.1 THROUGH E1.2 FOR CIRCUIT INFORMATION AND ROUGH-IN HEIGHTS OF ALL TAGGED EQUIPMENT.
- THE GENERAL CONTRACTOR AND ELECTRICAL SUB-CONTRACTOR SHALL VERIFY AND INCLUDE IN THEIR FINAL BID ALL LIFE SAFETY, SMOKE/FIRE ALARM SYSTEMS NEEDED TO BRING TENANTS SPACE COMPATIBLE WITH THE LANDLORD'S SYSTEM., AND CURRENT WITH LOCAL AND STATE CODES. FAILURE TO DO SO SHALL RESULT IN NO EXPENSE TO THE TENANT.

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# **KEYED NOTES**

- FOR ALARM SYSTEM IN ACCESSIBLE CEILING ABOVE MANAGER'S DESK. SECURITY WIRING AND INSTALLATION PROVIDED BY VENDOR.
- PROVIDE TWO (2) TELEPHONE/DATA OUTLETS, CONDUIT AND JUNCTION BOX. ROUTE CONDUIT FROM WALL TO BELOW POS STAND. REFER TO E1.1 FOR ADDITIONAL INFORMATION. CONNECT TELECOMMUNICATIONS/DATA CABLING TO JUNCTION BOX BELOW CASEWORK. SEE TELEPHONE SCHEMATIC ON SHEET 5/E3.1 FOR DETAILS.
- TELEPHONE BACKBOARD WITH APPROVED GROUNDING MEANS NEAR MANAGERS DESK REFER TO 7/E-301 FOR REQUIREMENTS. MOUNT OUTLET ON TELEPHONE BACKBOARD FOR TELEPHONE AND ALARM SYSTEM'S POWER. PROVIDE (1) 2" CONDUIT, WITH 1/4" PULL ROPE, TO UTILITY TELEPHONE TERMINATION LOCATION, COORDINATE WITH LOCAL UTILITY COMPANY.
- TO HUB AT MGR'S DESK, SEE P.O.S. DETAIL ON SHEET 4/E3.1. QUAD WITH 2" MUD RING UNDER MANAGER'S DESK AT 15" A.F.F. FOR P.O.S. WIRING. PROVIDE A 2" CONDUIT WITH A PULL STRING UP TO THE
- CONNECT WHIP FROM TELEPHONE OUTLET FOR VOICE1 AND VOICE 2 WITHIN PRE-WIRED ORDER COUNTER TO WALL JACK. SEE TELEPHONE SCHEMATIC FOR DETAILS.
- TO OFFICE ELEVATION ON SHEET E3.1 FOR DETAILS.
- DESK. REFER TO OFFICE ELEVATION ON SHEET E3.1 FOR DETAILS. THERMOSTAT FOR AC UNIT. WIRING BY ELECTRICAL CONTRACTOR,
- MECHANICAL DRAWINGS. MOUNT THERMOSTAT AT 48" A.F.F. MOUNT PUSHBUTTON BELOW ORDER COUNTER FOR CONNECTION TO BUZZER IN BACK AREA. REFER TO DETAIL 1/E3.1.
- (1) RJ45 ETHERNET, 1-1/2", 1 CAT 5 CABLES TO HUB AT MANAGERS
- REQUIRED BY NFPA 90A. PROVIDE AUDIBLE/VISUAL ALARM AND TEST/RESET SWITCH ABOVE CASH REGISTER LOCATION. DETECTION SYSTEM SHALL BE AS MANUFACTURED BY EDWARDS OR APPROVED EQUAL. CONNECT WHIP FROM DATA OUTLET FOR DATA1 AND DATA2 WITHIN ORDER COUNTER TO WALL JACK. SEE TELEPHONE SCHEMATIC FOR DETAILS.
- HOMERUN CAT5 CABLE FROM DATA OUTLET TO PATCH PANEL IN MANAGERS OFFICE. PROVIDE 6'-10' SLACK ON EACH END.
- SAW CUT AND PATCH FLOOR FOR DATA RACEWAYS IN TRENCH. PROVIDE JUNCTION BOXES FOR AT EACH LOCATION FOR DATA CIRCUITS. PATCH
- 6 PROVIDE TWO (2) DATA OUTLETS, CONDUIT AND JUNCTION BOX. ROUTE CONDUIT FROM WALL TO BELOW POS STAND. REFER TO E1.1 FOR ADDITIONAL INFORMATION. CONNECT TWO (2) CAT5E DATA CABLING TO JUNCTION BOX BELOW CASEWORK. SEE TELEPHONE SCHEMATIC ON

**ELECTRICAL** ROUGH-IN AND **ELEVATION** 

1.07.22 OWNER REVIEW ISSUE

SHEET NUMBER:

JAJ21024

SPECIAL SYSTEMS PLAN 1/4"=1'-0"

650

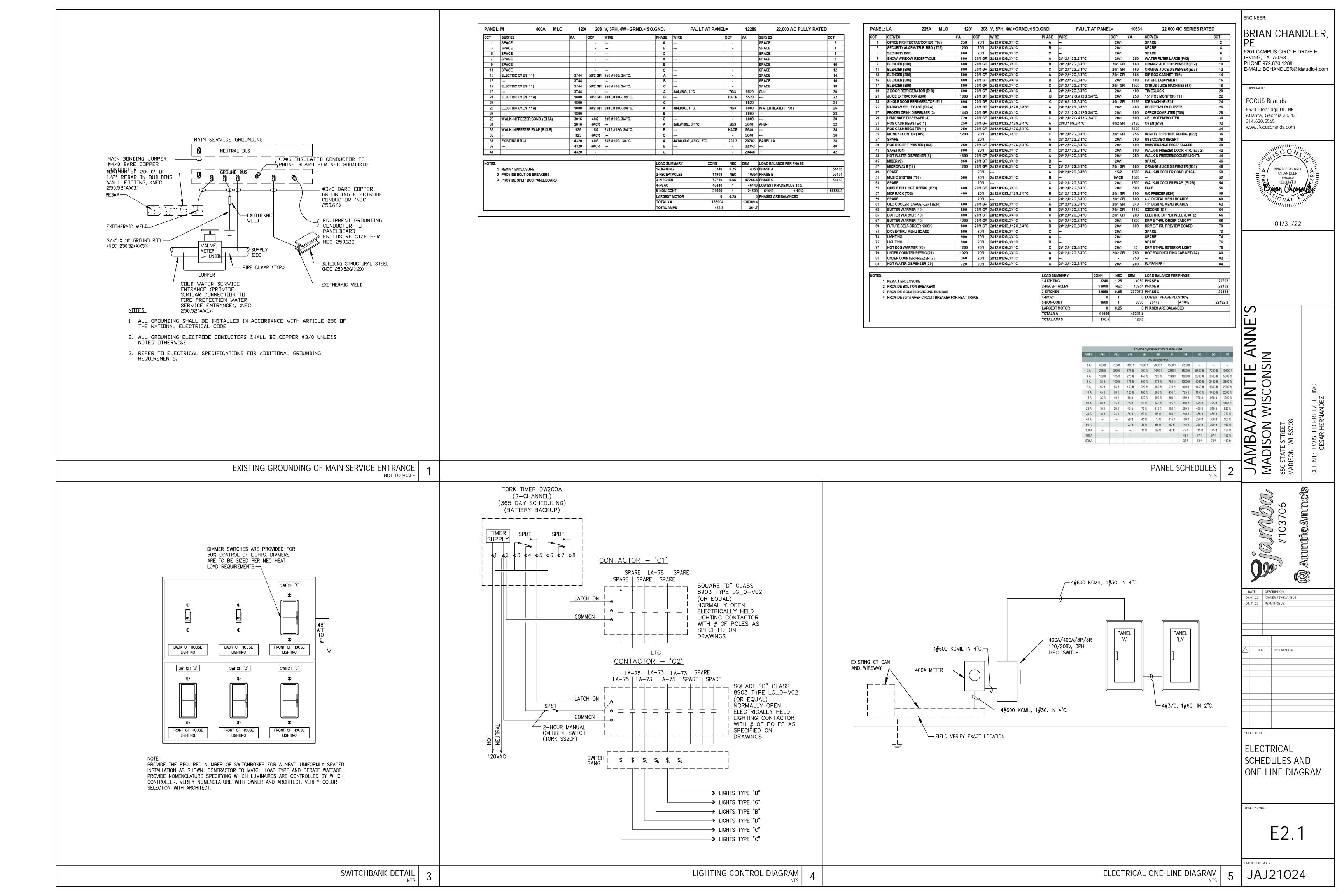
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FLOOR TO MATCH EXISTING.

ACCESSIBLE CEILING SPACE. (2) 2 x RJ11'S FOR VOICE 1 AND 2, FAX/CC MODEM, AND CPU MODEM. (2) RJ45 FOR DSL AND FUTURE DATA. INSTALL ALL AT 15" A.F.F. REFER (1) RJ45 ETHERNET, 3/4", 2 CAT 5 CABLES TO HUB AT MANAGERS THERMOSTAT AND CONNECTIONS BY GENERAL CONTRACTOR. REFER TO 2. ELECTRICAL CONTRACTOR SHALL PROVIDE A COMPLETE DUCT SMOKE DETECTOR AND ASSOCIATED AUDIBLE/VISUAL NOTIFICATION SYSTEM AS

4 | SOUND SYSTEM SPEAKERS. REFER TO 6/E3.1.

SHEET 5/E3.1 FOR DETAILS.



	ELECTRICAL SYMBO	DL LEGEND			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION		
0	2 X 4 LED FIXTURE		2 X 4 LED FIXTURE WITH BATTERY BACKUP		
0	1 X 4 LED FIXTURE		1 X 4 LED FIXTURE WITH BATTERY BACKUP		
0	4' LED STRIP FIXTURE		4' LED STRIP FIXTURE WITH BATTERY BACKUP		
<u> </u>	SURFACE MOUNTED TRACK AND TRACK HEAD	$\Theta$	PENDANT MOUNTED LIGHT FIXTURE		
0	RECESSED DOWNLIGHT FIXTURE		WALL/CEILING MOUNTED EMERGENCY BUGEYE		
lacksquare	RECESSED WALLWASH LIGHT FIXTURE		FIXTURE COMBINATION EXIT SIGN/EMERGENCY BUGEYE		
9	WALL MOUNTED LIGHT FIXTURE	$\triangle_{\!$	EMERGENCY REMOTE HEAD LIGHT FIXTURE		
<del>-</del>	HOOD LIGHT	⊗	CEILING MOUNTED EXIT SIGN, SHADE INDICATES		
<b>(</b> )	JUNCTION BOX		TELEPHONE BACKBOARD		
0	WALL MOUNTED DUPLEX RECEPTACLE	▼	TELEPHONE OUTLET		
•	FLOOR MOUNTED DUPLEX RECEPTACLE		FLOOR MOUNTED TELEPHONE OUTLET		
0	WALL MOUNTED SINGLE RECEPTACLE	$\nabla$	POS CONNECTION		
•	FLOOR MOUNTED SINGLE RECEPTACLE	$\bigcirc$	FLOOR MOUNTED POS CONNECTION		
$\otimes$	SPECIAL RECEPTACLE	$oldsymbol{ abla}$	COMBINATION DATA AND PHONE JACK		
<del>+</del>	WALL MOUNTED QUADRUPLEX RECEPTACLE	<b></b>	FLOOR MOUNTED COMBINATION DATA AND PHONE		
<b>÷</b>	WALL MOUNTED DUPLEX RECEPTACLE WITH USB	CHARGER P	DISCUNNECT SWITCH		
\$	SINGLE POLE SWITCH	PH	PAGER DUTLET		
\$	THREE POLE LIGHT SWITCH	SH	SECURITY JUNCTION BOX		
\$	PILOT LIGHT SWITCH	$\mapsto$	TELEVISION JACK		
\$	SINGLE THROW THERMAL SWITCH	ΚH	KEYED SWITCH		
\$	MOTOR RATED SWITCH		PANELBOARD		
OS (S)CLG	MOTION SENSOR (WALL MOUNT) (CLG=CEILING	T	TRANSFORMER		
	MOUNT) BUZZER	LT	LOW VOLTAGE DOORBELL TRANSFORMER		
Q_	BELL	FACP	FIRE ALARM CONTROL PANEL		
•	PUSHBUTTON (MOMENTARY)	FAAP	FIRE ALARM ANNUNCIATOR PANEL		
0	MOTOR	F	FIRE ALARM PULL STATION		
	SWITCHED CIRCUITRY BURIED OR IN SLAB	DX	FIRE ALARM HORN/STROBE DEVICE		
	CIRCUITRY IN WALL OR CEILING	Ø	FIRE ALARM STR□BE DEVICE		
	HOMERUN BACK TO PANEL	$\triangleright \otimes$	FIRE ALARM CEILING MOUNT HORN/STROBE		
	POINT OF CONNECTION	D₩	FIRE ALARM WATER FLOW HORN/STROBE		
IG	ISOLATED GROUND	2	DEVICE FIRE ALARM SMOKE DETECTOR		
WP	WEATHERPROOF	•	FIRE ALARM HEAT DETECTOR		
GFI	GROUND FAULT CIRCUIT INTERRUPTER	-==	FIRE ALARM DUCT SMOKE DETECTOR		
мст	MOTOR CONTROL TERMINAL	RT	REMOTE TEST SWITCH		
PTR	PRIOR TO ROUGH-IN	TS	TAMPER SWITCH		
IFS	INTEGRATED FACILITY STRUCTURE	FS	FLOW SWITCH		
IPC	INTEGRATED POWER CENTER (SWITCHGEAR)	S	CEILING MOUNTED SPEAKER		
NOTE: NOT ALL	SYMBOLS MAY APPEAR ON DRAWINGS.				

	LIGHT FIXTURE SCHEDULE										
MARK	MANUFACTURER	CATALOG NUMBER	CATALOG NUMBER	VOLTS	WATTS						
В	ELITE LIGHTING	LD6IC-AT-DIMTR-120RL607-750L-DIMTR 120-30K-85-CL-WH	6" LED RECESSED DOWNLIGHT, DIMMABLE	120	11						
С	ELITE LIGHTING	22-OT-LED-4000L-DIM10-MVOLT-30K- 80	2'x2' LED RECESSED LAY-IN TROFFER, 3400 LUMENS	120	37						
CE	ELITE LIGHTING	22-OT-LED-4000L-DIM10-MVOLT-30K- 80-0-EMG-LED	2'x2' LED RECESSED LAY-IN TROFFER, 3400 LUMENS 0-10V. DIMMABLE, 3000K, EMERGENCY BATTERY BACKUP	120	37						
D	NORA LIGHTING	NYLS2-15-6C-1-30-M-WW-W-3	LED CABLE MOUNTED PENDANT	120	18						
G	ELITE LIGHTING	LB100-15F-30K-WW-12V DC- LB100-DR-12V-30W	30W., 12V., LED RIBBON LIGHT WITH MINI CHANNEL MOUNTING SYSTEM	120/12	1.5W/FT						
Н	SAVOY HOUSE	7-131-1-322; BASE E27	INCANDESCENT 1-LIGHT PENDANT, WARM BRASS FINISH	120	42						
EM	EXITRONIX	LL90HW-6-27-P-W	THERMOPLASTIC EMERGENCY EGRESS FIXTURE, (2) KRYPTON LAMPS	120	5.4						
Χ	EXITRONIX	TEM-WB-WH-G2	COMBINATION EXIT/EMERGENCY THERMOPLASTIC LED SIGN	120	2.8						
X1	EXITRONIX	ILX-R-EM-WH	EMERGENCY EXIT THERMOPLASTIC LED SIGN WITH 90 MIN. BATTERY BACKUP	120	2.8						

- 1. FL=LED, CFL=COMPACT LED, IND=INCANDESCENT, MH=METAL HALIDE, HPS=HIGH PRESSURE SODIUM, LPS=LOW PRESSURE SODIUM, MV=MERCURY
- 2. PROVIDE MINIMUM 1100 LUMEN EMERGENCY BATTERY PACK IN FL FIXTURES MARKED "EM". PROVIDE MINIMUM 950 LUMEN EMERGENCY BATTERY PACK IN CFL FIXTURES MARKED "EM".
- 3. CONTRACTOR SHALL INSTALL ALL LAMPS. ALL LED LAMPS SHALL BE BY THE SAME LAMP MANUFACTURER IN ORDER TO MATCH COLOR
- PHOSPHORS. ALL FOUR FOOT LED LAMPS SHALL BE OF THE LOW MERCURY CONTENT TYPE. 4. CONTRACTOR SHALL INSTALL ALL NECESSARY MOUNTING HARDWARE, TRIM RINGS, ETC. FOR THE TYPE OF CEILING SPECIFIED. COORDINATE WITH
- THE ARCHITECTURAL ROOM FINISH SCHEDULE. 5. FOR EXIT LIGHTS, COORDINATE MOUNTING CONFIGURATION REQUIREMENT, DIRECTIONAL ARROWS, NUMBER OF FACES, ETC. WITH PLAN DRAWINGS.
- 6. LED LIGHT FIXTURES SHALL HAVE INSTANT START BALLASTS.
- 7. CONTRACTOR SHALL INSTALL ALL NECESSARY MOUNTING HARDWARE, FITTINGS, CONNECTORS, PENDENT FEEDS, END CAPS, ETC. TO PROVIDE A COMPLETE LIGHT TRACK SYSTEM.
- 8. CONTRACTOR SHALL INSTALL ALL NECESSARY LOW VOLTAGE DIMMABLE TRANSFORMERS, CONNECTORS, MOUNTING CLAMPS, ETC.
- 9. VERIFY THICKNESS OF CEILINGS SYSTEMS AND PROVIDE EXTENSION AS REQUIRED FOR ALL DOWN LIGHTS. 10. WALK-IN REFRIGERATOR LIGHTS SHALL BE FURNISHED BY LIGHTING VENDOR AND INSTALLED BY G.C. & FULLY CONNECTED BY THE ELECTRICAL
- CONTRACTOR. 11. TRIM COLOR BY ARCHITECT.
- 12. PROVIDE CLEAR NARROW FLOOD REFLECTOR "24MHT4RNF".
- 13. RECESSED LUMINARIES IN INSULATED CEILING SHALL BE TESTED AND LISTED FOR ZERO CLEARANCE INSULATION COVER (IC) AND AIR-TIGHT (AT) BY A RECOGNIZED TESTING LABORATORY.
- 14. CONTRACTOR SHALL COORDINATE WITH LIGHTING SUPPLIER THE CORRECT WATTAGE FOR THE CURRENT LIMITERS FOR TRACK LIGHTING AND TITLE 24 COMPLIANT REGULATOR END FEED/CURRENT LIMITING DEVICE.

			EL	EC	TRIC	AL S	CHED	ULE		
QUI	РМЕ	NT								
NO	QTY	ITEM	VOLTAGE	HZ	PHASE	AMPS	WATTAGE	OUTLET	REMARKS	CIRCUIT
QUIF	MEN	IT								
E02	1	CRATHCO (DOUBLE BOWL)	120	60	1	8.5	1020	5-15P	CIRCUIT VIA GFI BREAKER	LA-10
E03	2	CRATHCO (MINI-QUAD)	115	60	1	8.5	1020	5-15P	CIRCUIT VIA GFI BREAKER	LA-12; LA-48
E05	1	DIP BOX CABINET (LARGE)	120	60	1	10	1200	5-15R	CIRCUIT VIA GFI BREAKER	LA-14
									DEDICATED CIRCUIT FOR EACH BLENDER. SINGLE OUTLET RECEPTACLES.	LA-9; LA-11; LA-1
E06	5	BLENDER W/PLEXIGLASS COVER, ON-COUNTER	120	60	1	15	1800	5-20R	PROVIDE NEMA 5-20R SIMPLEX RECEPTACLE.	LA-15; LA-17
E08	1	JUICE EXTRACTOR	120	60	1	9	1080		CIRCUIT VIA GFI BREAKER. ETL LISTED & APPROVED.	LA-21
E09	1	UNDER COUNTER REFRIGERATED SELF-SERVICE COUNTER CAS	120	60	1	11		5-15P	WIDTH/DEPTH/HEIGHT: 36-1/4"L X 32-3/8"D X 32-3/4"H, CIRCUIT VIA GFI	LA-25
E10	1	2-DOOR REFRIGRATOR (UNDERCOUNTER)	120	60	1	4	980	5-15P	CIRCUIT VIA GFI BREAKER	LA-19
E11	1	SINGLE DOOR REFRIGRATOR (UNDERCOUNTER)	120	60	1	5.8	696	5-15P	CIRCUIT VIA GFI BREAKER	LA-23
									GC MUST VERIFY ELECTRICAL REQUIREMENTS WITH WALK-IN SHOP	
E12	1	WALK-IN COOLER BOX W/COMP.	208	60	1				DRAWINGS PRIOR TO INSTALLATION	REF PLAN
									GC MUST VERIFY ELECTRICAL REQUIREMENTS WITH WALK-IN SHOP	
E13	1	WALK-IN FREEZER BOX W/COMP.	208	60	1				DRAWINGS PRIOR TO INSTALLATION	REF PLAN
									CONNECTED TO FILTERED WATER, PROVIDE 30A-1P NON-FUSED DISCONNECT,	
E14	1	ICE MACHINE (FLAKER) AND BIN	120	60	1	19.5	2340		CIRCUIT VIA GFI BREAKER	LA-24
E17	1	CITRUS JUICER MACHINE (COUNTERTOP)	120	60	1	10	1200		CIRCUIT VIA GFI BREAKER	LA-18
E18	1	VENTLESS OVEN - SOTA	208	60	1	30	6240		UL 710B (KNLZ) LISTED FOR VENTLESS OPERATION	LA-32/34
E22	1	BOWL PREP COLD TABLE - W/ CLEAR LID	115	60	1	2	240	5-15P		LA-36
E24	1	OLO COOLER (LARGE) - LEFT	110	60	1	15	1800	5-15P		LA-61
E26	1	UNDER COUNTER FREEZER (FUTURE PURCHASE)	120	60	1	2.5	300	5-15P		LA-58
E37	1	ICEZONE	100-240V AC		1	0.8	96	5-15P		LA-64
E38	2	ELECTRIC DIPPER WELL	120	60	1	1	120	5-15P		LA-66
LUMI	BING	i								
P01	1	WATER HEATER - ELECTRIC	480	60	3	1	18KW	JB	CODE. VERIFY REQUIRED OVERHEAD CLEARANCES AVALIABLE PRIOR TO ORDERING.	M-26/28/30
P02	1	WATER FILTER (LARGE)	120	60	1	1.5	180	5-15P	REFERENCE DRAWINGS FOR MOUNTING LOCATIONS	LA-8
FFIC	E EQ	UIPMENT								
T02	1	IT CABINET	120	60	1	10	1200	5-15P		LA-57
T03	1	POS RECEIPT PRINTER	120	60	1	5	600		POWER AND DATA FOR POS PRINTER, SEE DRAWINGS FOR EXACT LOCATION	LA-39
T04	1	SAFE	120	60	1	5	600		ELECTRONIC LOCK OUTER DOOR. ELECTRONIC TIME DELAY LOCK INNER DOOR.	LA-41
T05	1	MONEY COUNT MACHINE	120	60	1	5	600	5-15P		LA-35
T06	1	OFFICE COMPUTER	120	60	1	10	1200	5-15P		LA-28
T07	1	OFFICE PRINTER/FAX/COPIER	120	60	1	10	1200	5-15P		LA-1
T08	1	MUSIC SYSTEM	120	60	1	5	600	5-15P		LA-51
T09	1	SECURITY ALARM SYSTEM	120	60	1	5	600	5-15P		LA-3
T11	1	15" POS MONITOR WITH WALL MOUNTED ARM & BUMP BAR	120	60	1	5	600	5-15P		LA-22

- 1. ELECTRICAL EQUIPMENT SHALL BE LISTED BY A RECOGNIZED ELECTRICAL TESTING LABORATORY.
- 2. CONTRACTOR SHALL COORDINATE THE NEMA CONFIGURATION OF THE RECEPTACLES FOR THE KITCHEN EQUIPMENT WITH ACTUAL KITCHEN EQUIPMENT PROVIDED PRIOR TO ROUGH-IN.
- 3. ALL ELECTRICAL CONTROLS/SWITCHES AND RECEPTACLE OUTLETS SHALL BE NOT MORE THAN 48" MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT BE LESS THAN 15" FROM BOTTOM OF THE OUTLET BOX MEASURED TO THE FINISH FLOOR.

	AUNTIE ANNE'S ELECTRICAL SCHEDULE												
MARK	QTY	DECRIPTION	MFG	MODEL#	AMPS	VOLTS	PHIASE	HZ	NEMA	COMMENTS	SUPPLIED BY	INSTALLED BY	CIRCUIT
1	6	POS	REVEL		5	120	1	60			REVEL	REVEL	LA-31;LA-33
2A	1	HOT FOOD HOLDING CABINET	TRAULSEN	G14310 SOLID DR 1 SEC	7.2	208	1	60	L14-20R		TENANT	GC	LA-80/82
3	1	FROZEN DRINK DISPENSER	BUNN	ULTRA-2	12	120	1	60	5-15R		TENANT	GC	LA-27
4	1	LEMONADE DISPENSER	CRATHCO	D25-4	6	120	1	60	5-15R		TENANT	GC	LA-29
8	1	HOT WATER DISPENSER	BUNN	H5E	16	120	1	60	5-20R		TENANT	GC	LA-43
9	1	MIXER	HOBART	HL200	8	120	1	60	5-15R		TENANT	GC	LA-45
10	3	BUTTER WARMER	APW WYOTT	W-3V	10	120	1	60	5-15R		TENANT	GC	LA-63; LA-65; LA-67
11	2	ELECTRIC OVEN	BAKERS PRIDE	P44S	36	208	1	60	6-50R		TENANT	GC	M-13/15; M-17/19
11A	2	ELECTRIC OVEN	BAKERS PRIDE	P22S	17.3	208	1	60	6-30R	FUTURE	TENANT	GC	M-21/23; M-25/27
12	1	MICROWAVE	MENUMASTER	RFSIZTS	13	120	1	60	5-15R		TENANT	GC	LA-47
17	4	43" DIGITAL MENU BOARDS	LG	43SE3KD	2	120	1	60	5-15R		TENANT	GC	LA-60; LA-62
20	1	HOT DOG WARMER	SERVER	FS-4 #81000	5	120	1	60	5-15R		TENANT	GC	LA-77
21	1	UNDER COUNTER REFRIGERATOR	HOSHIZAKI	CRMR27-LP	3	120	1	60	5-15R	SUPPLIED W/ CASTORS	TENANT	GC	LA-79
25	1	UNDERCOUNTER FREEZER	HOSHIZAKI	CRMF27-LP	3	120	1	60	5-15R		TENANT	GC	LA-81
29	1	HOT WATER DISPENSER	IN-SINK-ERATOR	C1300	6	120	1	60	5-20R	INSTALLED AT DIP SINK	TENANT	GC	LA-83

- 1. ELECTRICAL EQUIPMENT SHALL BE LISTED BY A RECOGNIZED ELECTRICAL TESTING LABORATORY.
- 2. CONTRACTOR SHALL COORDINATE THE NEMA CONFIGURATION OF THE RECEPTACLES FOR THE KITCHEN EQUIPMENT WITH ACTUAL KITCHEN EQUIPMENT PROVIDED PRIOR TO ROUGH-IN.
- 3. ALL ELECTRICAL CONTROLS/SWITCHES AND RECEPTACLE OUTLETS SHALL BE NOT MORE THAN 48" MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT BE LESS THAN 15" FROM BOTTOM OF THE OUTLET BOX MEASURED TO THE FINISH FLOOR.

ALLOWED CONDUIT LOCATIONS						
CONDUIT INSTALLATION LOCATION	ALLOWABLE CONDUIT TYPE					
BELOW GRADE OUTSIDE OF SLAB PERIMETER	RIGID STEEL CONDUIT OR NONMETALLIC CONDUIT (SCHEDULE 40 OR SCHEDULE 80 PVC)					
BELOW GRADE GOING THRU GRADE BEAM	RIGID STEEL CONDUIT OR NONMETALLIC CONDUIT (SCHEDULE 40 OR SCHEDULE 80 PVC) WITH SLEEVE					
IN OR UNDER SLAB ON GRADE	RIGID STEEL CONDUIT OR NONMETALLIC CONDUIT (SCHEDULE 40 OR SCHEDULE 80 PVC)					
OUTDOOR LOCATIONS, ABOVE GRADE	RIGID STEEL CONDUIT					
IN SLAB ABOVE GRADE	RIGID STEEL CONDUIT OR NONMETALLIC CONDUIT (SCHEDULE 40 OR SCHEDULE 80 PVC)					
WET AND DAMP LOCATIONS	RIGID STEEL CONDUIT OR NONMETALLIC CONDUIT (SCHEDULE 40 OR SCHEDULE 80 PVC)					
DRY LOCATIONS	RIGID STEEL CONDUIT AND ELECTRICAL METALLIC TUBING					
ABOVE CEILING BETWEEN LIGHT FIXTURES	FLEXIBLE METAL CONDUIT (8'-0" LENGTHS MAXIMUM)					

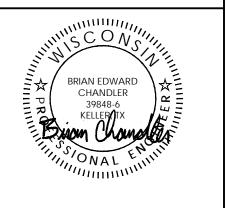
ENGINEER:

BRIAN CHANDLER

6201 CAMPUS CIRCLE DRIVE E. IRVING, TX 75063 PHONE 972.870.1288 E-MAIL: BCHANDLER@idstudio4.com

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01/31/22

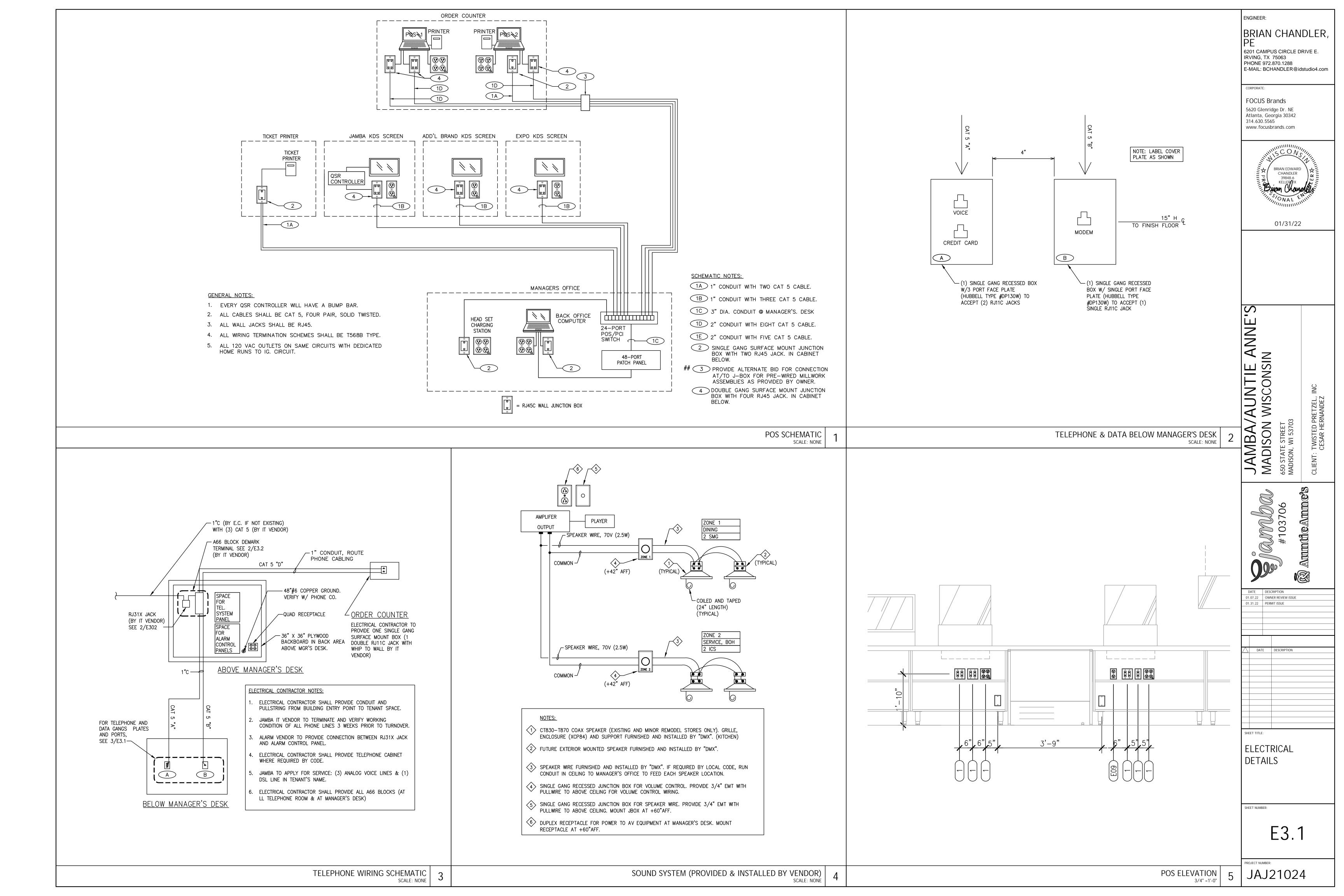
AMBA/AUNTIE ANNE'S ADISON WISCONSIN : TWISTED PRETZEL, I CESAR HERNANDEZ JAME
MADIS
650 STATE S
MADISON, W
CLIENT: TW

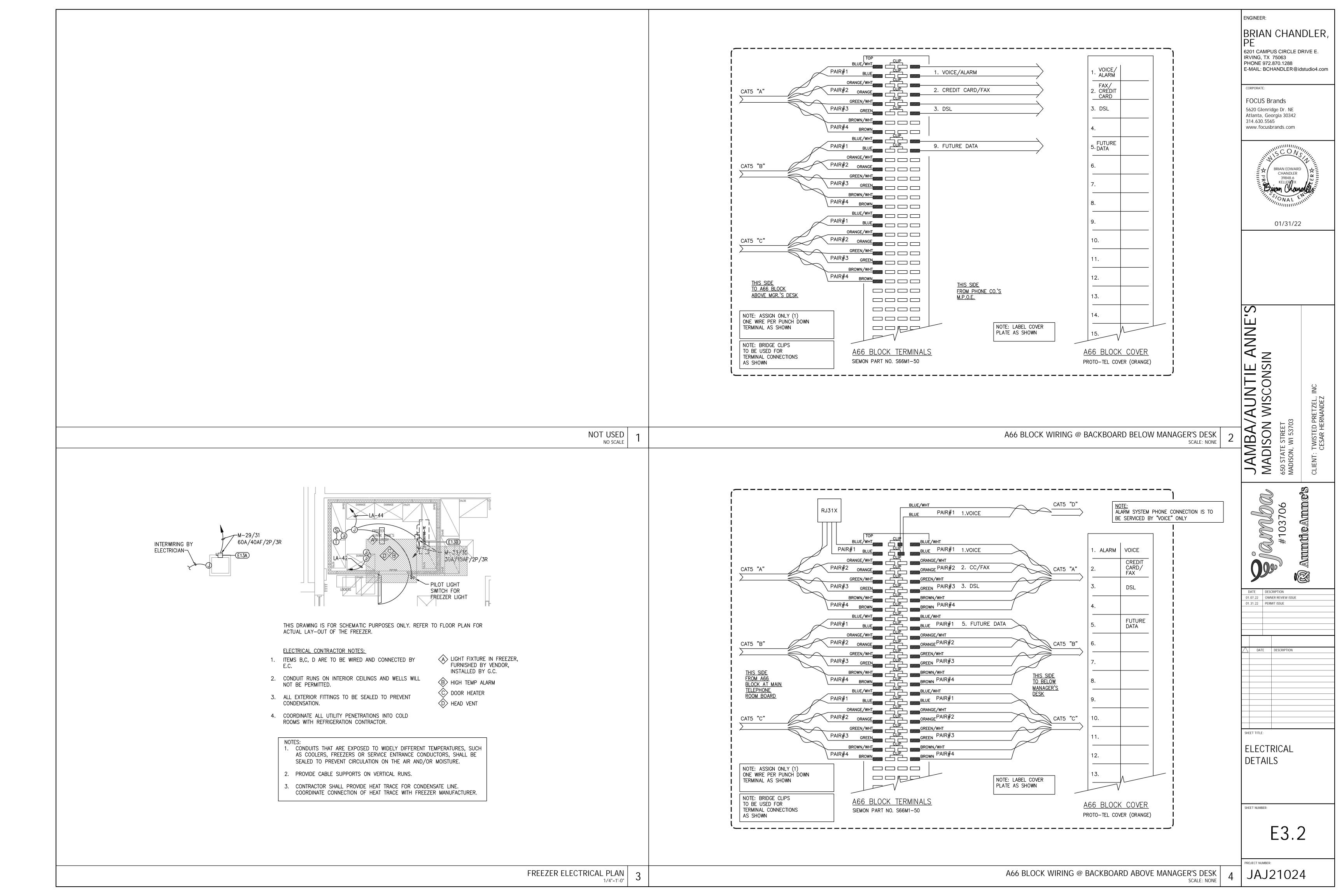


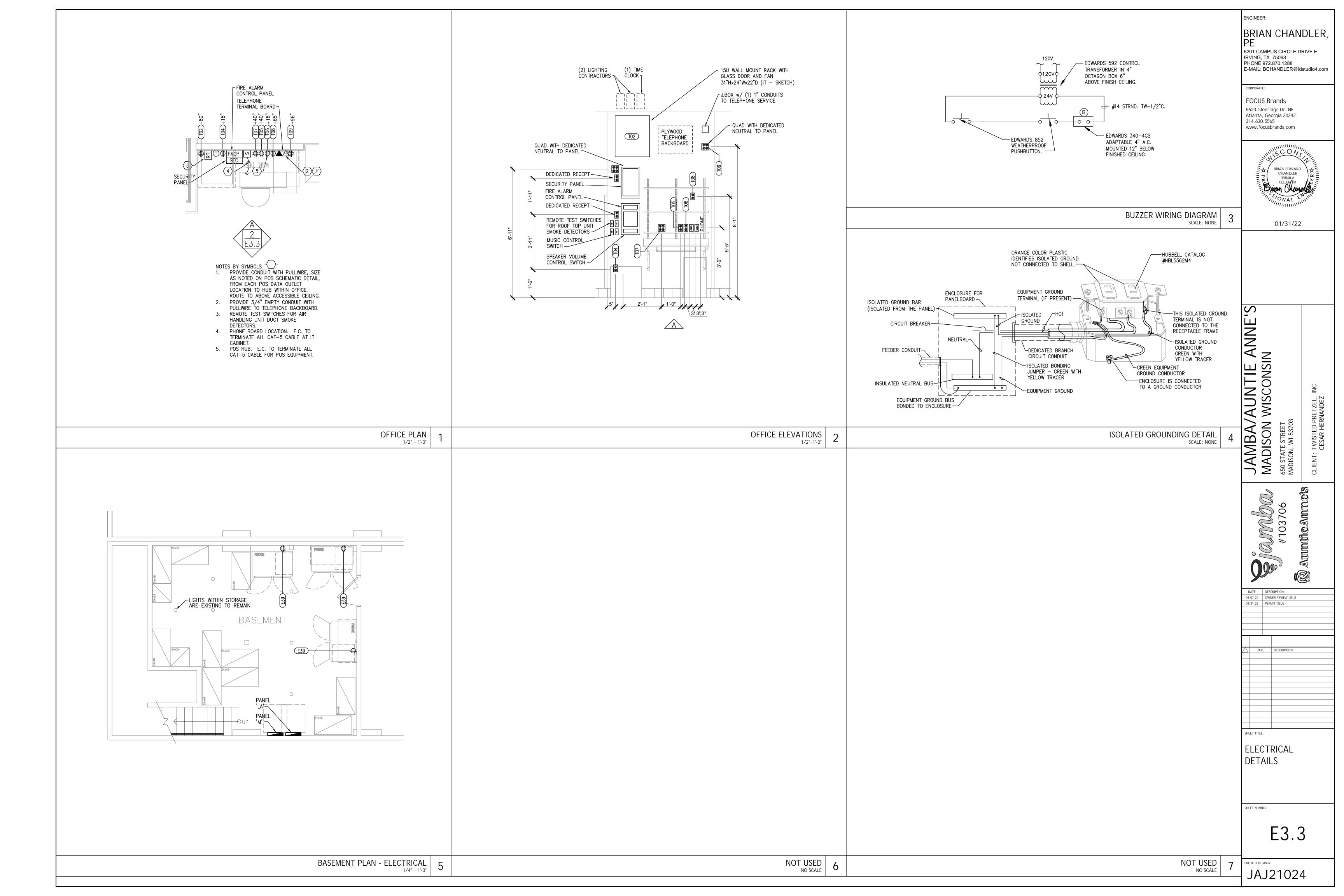
01.07.22 OWNER REVIEW ISSUE

ELECTRICAL EQUIPMENT SCHEDULE

SHEET NUMBER:







41'-4"
40'-7"
38'-0"
30'-11"

24'-5"

19'-8"

19'-3"

14'-7" FREEZER AUNTIE ANNE'S FD-1 FS-2 24×36 LOCKERS CUBBIES PICK-UP AREA KEYED NOTES

REFER TO ARCHITECTURAL PLANS FOR ROUGH—IN DIMENSIONS OF RESTROOM PLUMBING FIXTURES.

DIMENSIONS SHOWN ARE FROM THE EXISTING INSIDE FACE OF WALL FINISH.

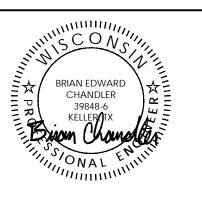
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01/31/22

JAMBA/AUNTIE ANNE'S
MADISON WISCONSIN
650 STATE STREET
MADISON, WI 53703
CLIENT: TWISTED PRETZEL, INC
CESAR HERNANDEZ

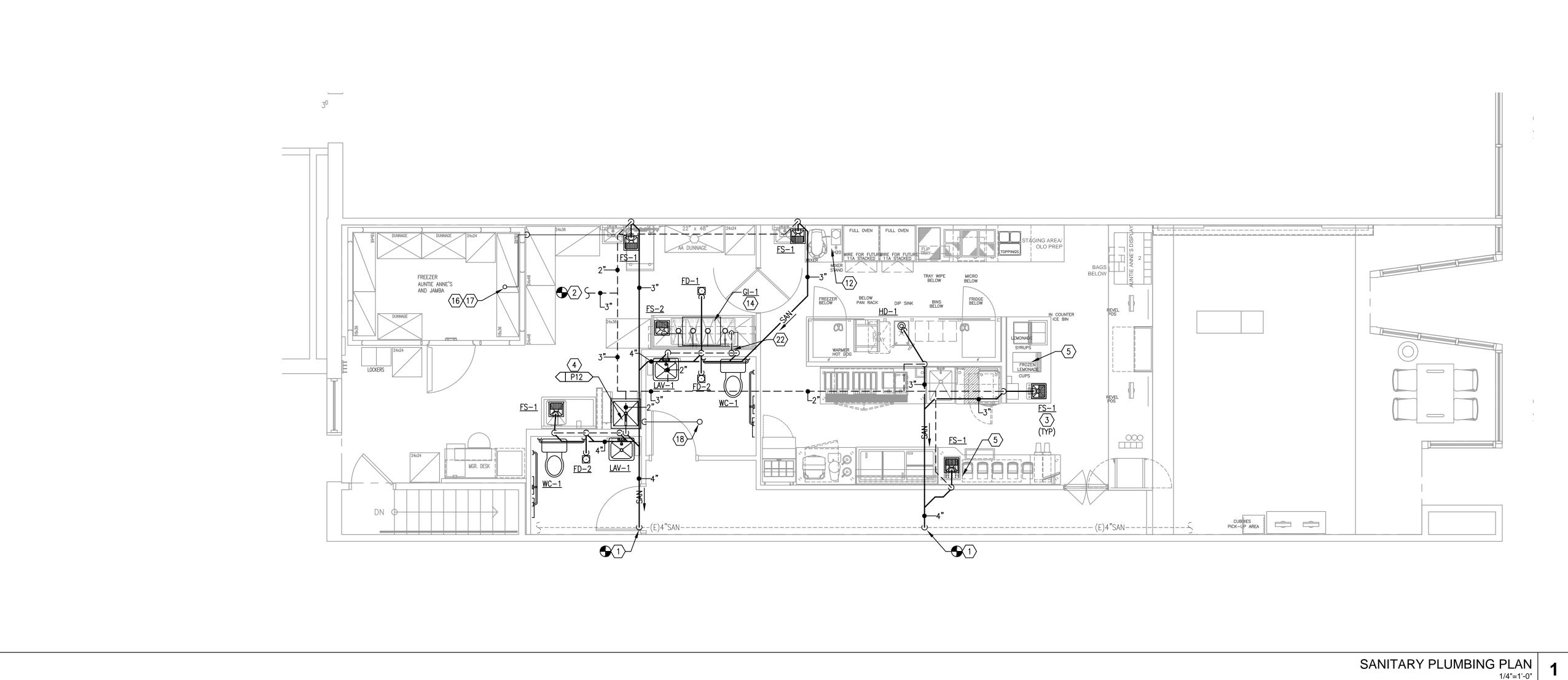


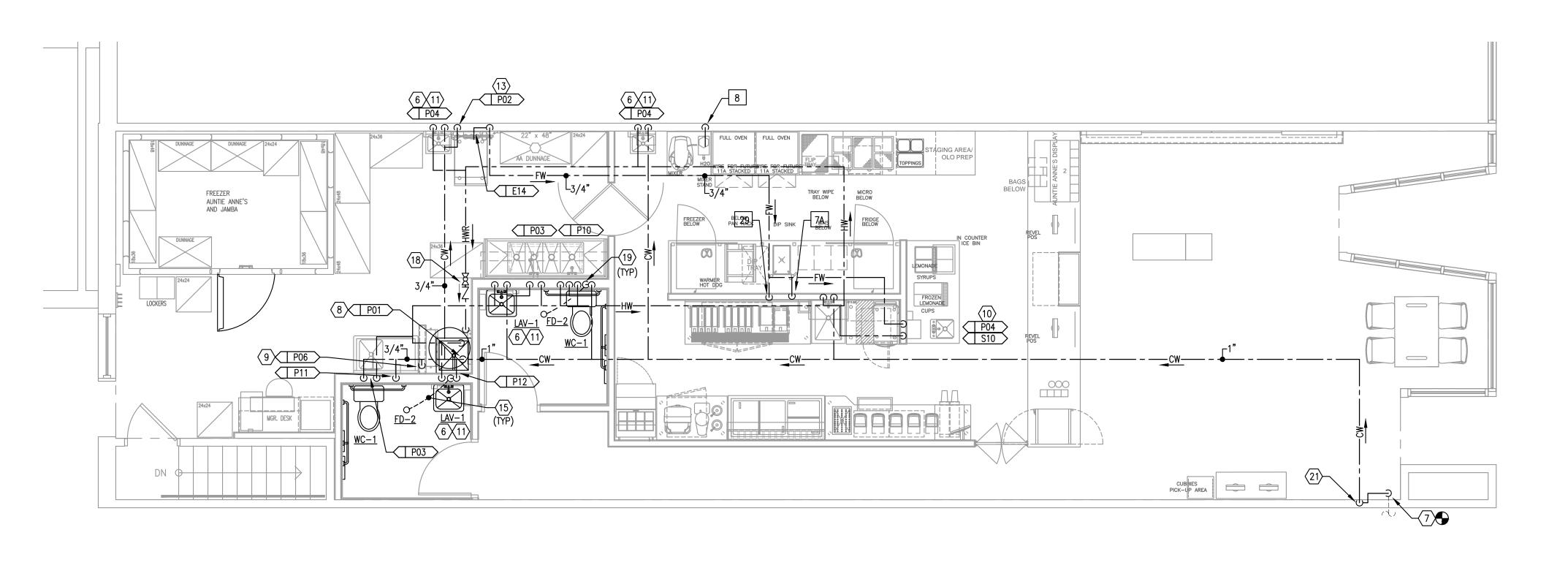
DATE DESCRIPTION
01.07.22 OWNER REVIEW ISSUE
01.31.22 PERMIT ISSUE

PLUMBING ROUGH-IN PLAN -UNDERSLAB

SHEET NUMBER:

PROJECT NUMBER: JAJ21024





**GENERAL NOTES** 

- A. KEY NOTES WITH ELLIPTICAL SYMBOL AND NUMBER CORRESPOND TO KITCHEN BRIAN CHANDLER
- EQUIPMENT SHOWN IN EQUIPMENT PLAN SHEETS.

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- B. | ALL EXPOSED PIPING IN PUBLIC AREAS SHALL BE INSTALLED AS TIGHT AS POSSIBLE TO THE WARM SIDE OF THE EXPOSED ROOF STRUCTURE.
- . THE INSTALLATION OF THE PLUMBING SYSTEMS SHALL BE COORDINATED WITH ALL ELECTRICAL, MECHANICAL EQUIPMENT & STRUCTURAL SLAB AND FRAMING.
- REFER TO SHEET EQ2.1, EQ2.2 AND P2.1 FOR PLUMBING FIXTURE AND EQUIPMENT SCHEDULES INCLUDING SPECIFICATIONS AND ROUGH-IN SIZES. E. | ALL CUTTING OF EXISTING PAVING, WALKS AND/OR FLOORS SHALL UTILIZE
- MACHINE SAW CUTTING EQUIPMENT. HOLES FOR PIPES IN CONCRETE WALLS OR FLOORS SHALL UTILIZE CORE DRILLING EQUIPMENT. COORDINATE WITH ARCHITECTURAL DETAILS FOR FLOOR CUTTING AND PATCHING. PLUMBING CONTRACTOR SHALL COORDINATE WITH THE KITCHEN EQUIPMENT
- SUPPLIER FOR THE COMPLETE INSTALLATION AND SERVICE CONNECTIONS OF ALL KITCHEN EQUIPMENT.
- 3. | PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL DRAIN LINES FROM KITCHEN EQUIPMENT. REFER TO THE EQUIPMENT DRAWINGS FOR PROPOSED SIZES AND ROUTING. ALL INDIRECT DRAIN LINES SHALL BE INSTALLED WITH APPROVED AIR GAPS. ALL WATER LINES UNDER EQUIPMENT/ MILLWORK SHALL BE INSTALLED SECURELY.
- H. | REFER TO ARCHITECTURAL AND MILLWORK DRAWINGS FOR DETAILS OF COUNTERTOPS, CASEWORK, AND OTHER FIXTURES, SHOWING EXACT LOCATION OF OPENINGS FOR PLUMBING ITEMS BEING INSTALLED. COORDINATE THE
- COMPLETE INSTALLATION WITH THE GENERAL CONTRACTOR. PLUMBING CONTRACTOR TO FLUSH AND SANITIZE ALL WATER LINES PRIOR TO
- THE INSTALLATION OF THE FILTRATION SYSTEM. PITCH ALL WASTE AND DRAIN LINES A MINIMUM OF 1/4" PER FOOT IN THE
- DIRECTION OF FLOW, OR AS REQUIRED BY LOCAL CODE. K. ALL OPENINGS IN DWV SYSTEMS RESULTING FROM INSTALLATION ROUGH—IN SHALL BE PROTECTED WITH A TEST PLUG THAT IS SECURELY LOCKED IN
- ALL WALL PIPING STUB-OUTS SHALL BE SECURELY TIED TO THE STRUCTURE WITH SUFFICIENT BACKING TO ELIMINATE MOVEMENT. FINAL CONNECTIONS TO

PLACE UNTIL FINAL FINISHED CONNECTIONS ARE INSTALLED.

- KITCHEN SINKS SHALL BE HARD PIPED. M. | ALL FIXTURES AND EQUIPMENT SHALL BE INSTALLED WITH WATER SUPPLY STOP VALVES IN ACCESSIBLE LOCATIONS. PROVIDE LINE SIZED BALL VALVES,
- N. | ALL PENETRATIONS IN FIRE RATED WALL ASSEMBLIES SHALL BE SEALED WITH UL LISTED FIRE STOPPING MATERIAL.
- O. | PLUMBING CONTRACTOR TO ARRANGE AND PAY FOR ALL REQUIRED FEES, PERMITS, AND MISCELLANEOUS COSTS ASSOCIATED WITH THE PLUMBING WORK PER LOCAL PLUMBING CODES.
- PLUMBING CONTRACTOR SHALL MAINTAIN A REDLINED SET OF 'AS BUILT' CONSTRUCTION DRAWINGS AND PROVIDE RECORD COPIES TO THE ARCHITECT PER THEIR SUBMISSION REQUIREMENT TO JAMBA JUICE CORPORATE.
- Q. | ALL WASTE PIPING DOWNSTREAM OF 4 COMPARTMENT SINK SHALL BE SCHEDULE 40 DWV PVC OR DURIRON AS REQUIRED BY LOCAL CODES. ALL OTHER WASTE AND VENT PIPING SHALL BE SCHEDULE 40 DWV PVC UNLESS PROHIBITED BY LOCAL CODES.
- R. VERIFY EXACT LOCATIONS, DEPTH AND SIZE OF ALL PIPING TO WHICH CONNECTIONS ARE REQUIRED. COORDINATE ALL CONNECTIONS WITH SITE CONDITIONS AND SITE UTILITY CONTRACTOR/ REPRESENTATIVE.

- CONNECT THE NEW SANITARY PIPING TO THE EXISTING LATERAL AS SHOWN.
- ROUTE NEW VENT LINE TO EXISTING VTR SYSTEM, VERIFY EXACT LOCATION & SUFFICIENT SIZE PRIOR TO BID. COORDINATE ROOF PENETRATION LOCATION WITH OUTDOOR AIR INTAKE OF ROOFTOP EQUIPMENT. MAINTAIN A MINIMUM
- 3. PROVIDE FLOOR SINK WITH 1/2 GRATE FOR INDIRECT DISCHARGE FROM
- 4. COORDINATE INSTALLATION OF SERVICE SINK WITH THE WALL FRAMING. EXTEND
- 5. ROUTE COUNTERDRAIN TO NEAREST FLOOR SINK AND TERMINATE WITH AN
- INDIRECT CONNECTION.
- COORDINATE INSTALLATION OF WALL MOUNTED HAND SINK. EXTEND 2" SANITARY AND 1-1/2" VENT AS SHOWN.
- CONNECT NEW 1" TENANT DOMESTIC WATER TAP OFF THE LANDLORD PROVIDED STUB. COORDINATE EXACT LOCATION & SUFFICIENT SIZE WITH FIELD CONDITIONS. INSTALL WATER METER BACKFLOW PREVENTER, AND REMOTE
- 8. WATER HEATER SHALL BE MOUNTED SECURELY ON PLATFORM. INSTALL COMPLETE WITH DRAIN PAN.
- 9. PROVIDE 1/2" CW TAP TO THREADED MALE HOSE BIBB MOUNTED 36" AFF FOR FUTURE CONNECTION TO CHEMICAL DISPENSER. INSTALL COMPLETE WITH ACCESSIBLE LINE SIZED DCVA BACKFLOW PREVENTOR.
- 10. EXTEND 1/2" FW/HW SUPPLY TAPS AS SHOWN. INSTALL COMPLETE WITH
- 11. EXTEND 1/2" CW/HW SUPPLY TAPS AS SHOWN. INSTALL COMPLETE WITH
- STOPS AND HOT WATER TEMPERING VALVE. 12. ALL DRAINAGE FROM FIXTURES IN THIS AREA TO BE ROUTED TO NEAREST
- FLOOR SINK AND TERMINATED WITH AN INDIRECT CONNECTION. 13. INSTALL WALL MOUNTED WATER FILTER AND EXTEND FILTERED WATER WATER
- 14. PROPOSED LOCATION FOR GREASE INTERCEPTOR TO BE INSTALLED PER LOCAL REQUIREMENTS, COORDINATE PLACEMENT WITH GRADING, LANDSCAPING, ALL UTILITIES & CONCRETE WORK.
- 15. 1/2" FW BELOW FLOOR, FROM TRAP PRIMER TO RECEPTOR.
- 16. ROUTE WALK-IN COOLER CONDENSATE DRAIN LINE AS HIGH AS POSSIBLE AND ALONG WALLS AS SHOWN. INSULATE ALL CONDENSATE PIPING AND PITCH A MINIMUM OF 1/4" PER FOOT IN THE DIRECTION OF FLOW. SEAL ALL COOLER WALL PENETRATIONS WATER TIGHT AND COVER EACH WITH AN ESCUTCHEON PLATE. PROVIDE FULL SIZE TRAP AND EXTEND ABOVE FLOOR AND BEHIND EQUIPMENT FOR AN INDIRECT CONNECTION TO AN APPROVED RECEPTOR.
- . CONDENSATE DRAIN LINE IN THE WALK-IN FREEZER SHALL BE HEAT TRACED TO PREVENT FREEZING. HEAT TRACE TAPE SHALL BE FURNISHED AND INSTALLED BY THE ELECTRICAL CONTRACTOR.
- 18. FIELD COORDINATE THE INSTALLATION OF THE INLINE HOT WATER RECIRCULATION PUMP, EXPANSION TANK AND CHECK VALVE ASSEMBLY. 19. COORDINATE INSTALLATION OF ACCESSIBLE TRAP PRIMER VALVE BELOW THE
- LAVATORY. VALVE SHALL BE RECESSED IN THE WALL AND COVERED WITH 20. ROUTE HVAC CONDENSATE DRAIN LINE FROM UNIT AND RUN AS HIGH AS
- POSSIBLE. INSULATE ALL CONDENSATE PIPING AND PITCH A MINIMUM OF 1/4' PER FOOT IN THE DIRECTION OF FLOW.
- 21. EXTEND NEW CW LINE UP TO OVER HEAD FROM CW CONNECTION IN
- 22. 2" VENT UP TO OVER HEAD FROM FLOW CONTROL AT GREASE INTERCEPTOR.

FLOOR PLANS

**PLUMBING** 

1.07.22 OWNER REVIEW ISSUE

SHEET NUMBER:

WATER AND GAS PLUMBING PLAN

JAJ21024

REDUCERS & BACKFLOW PREVENTERS FOR BEVERAGE FIXTURES. ITIE ANI AUN WISCO **KEYED NOTES** TWISTED PRET CESAR HERNAN MBA/ DISON VERIFY EXACT INVERT ELEVATION AND LOCATION IN THE FIELD. HORIZONTAL CLEARANCE OF 10'-0". **M** EQUIPMENT. EXTEND 3" SANITARY AND 2" VENT AS SHOWN. 3" SANITARY AND 2" VENT AS SHOWN. AumüeAmm WATER METER READER AS REQUIRED BY LANDLORD AND UTILITY.

	PLUMBING FIXTURE SCHEDULE									
MADIZ	FIVTUDE		ROUGH-	-IN-SIZE		DESCRIPTION/REMARKS				
MARK	FIXTURE	S/W	٧	CW	HW	DESCRIPTION REMARKS				
<u>₩C−1</u>	WATER CLOSET (ADA)	4"	2"	1"	-	AMERICAN STANDARD 'MADERA' FLOW-WISE #2234.001 FLOOR MOUNTED, FLUSH VALVE, WHITE VITREOUS CHINA WITH EVERCLEAN SURFACE, 1.28 GPF SIPHON JET BOWL, TOP SPUD CONNECTION, BOLT CAPS. INCLUDE SLOAN OPTIMA G2 PLUS #8111.128 TOP SPUD BATTERY POWERED FLUSH VALVE, ELONGATED OPEN FRONT SEAT (LESS COVER) WITH CHECK HINGE STOPS. INSTALL SOLID RING PIPE SUPPORT SLOAN J-212-A.				
LAV-1	LAVATORY (ADA)	2"	1 1/2"	1/2"	1/2"	AMERICAN STANDARD 'LUCERNE' #0355.012 WHITE VITREOUS CHINA WALL HUNG LAVATORY, 3 HOLE, 4" O.C. PUNCH & 6" TAIL PIECE. INSTALL COMPLETE WITH SLOAN #SF-2450-4 POLISHED CHROME PLATED FAUCET BATTERY OPERATED FAUCET WITH BASE PLATE & 0.5 GPM AREATOR, BRASSCRAFT "COMMERCIAL" RIGID SUPPLIES, ANGLE STOPS, CHROME PLATED 17GA. CAST BRASS P-TRAP WITH SECURED ESCUTCHEON. P-TRAP & WATER SUPPLIES SHALL BE WRAPPED WITH TRUEBRO LAVGUARD #102 FOR ADA PROTECTION.				

				PLU	MBIN	NG EQUIPMENT SCHEDULE
MARK	FIXTURE		ROUGH-	-IN-SIZE		DESCRIPTION/REMARKS
IVICITY	TIXTORE	S/W	٧	CW	HW	DESCRIPTION REMARKS
<u>ET-1</u>	EXPANSION TANK	_	_	3/4"	_	WATTS REGULATOR #PLT-12, WITH STEEL BODY AND BUTYL RUBBER DIAPHRAGM FOR 4.5 GALLONS TOTAL CAPACITY/ 2.8 GALLONS ACCEPTANCE CAPACITY, 40 PSI FACTORY PRE-CHARGED.
<u>RCP-1</u>	RECIRCULATION PUMP	_	_	ı	3/4"	GRUNDFOS #UP15-10B7 INLINE HOT WATER OPEN SYSTEM RECIRCULATING PUMP, CAPABLE OF 4.0 GPM (140°F) @ 4' HEAD, 1/25 HP, 115V/1PH, AQUASTAT, INTEGRAL ATTACHED TIMER FOR OPERATION CONTROLS, AND ATTACHED POWER CORD.
<u>FD-1</u>	FLOOR DRAIN	3"	2"	ı	_	ZURN #LC-P3S PVC BODY FLOOR DRAIN WITH #LC-CS CAST IRON ADAPTOR THREADED SHANK, COMPLETE WITH #LC-FR05NI 5" ROUND POLISHED NICKEL FRAME TOP GRATE.
<u>FD−2</u>	FLOOR DRAIN	3"	2"	_	1/2"	ZURN #LC-P3S PVC BODY FLOOR DRAIN AND TRAP PRIMER, WITH #LC-CS CAST IRON ADAPTOR THREADED SHANK, COMPLETE WITH #LC-FR05NI 5" ROUND POLISHED NICKEL FRAME TOP GRATE.
<u>FS-1</u>	FLOOR SINK	2"	1 1/2"	-	_	ZURN #FD-2370 12"x12" RADIUSED PVC BODY FLOOR SINK WITH FULL RIM AND SEDIMENT BUCKET STRAINER. COORDINATE GRATE CONFIGURATION WITH KITCHEN ROUGH IN PLANS.
<u>FS-2</u>	FLOOR SINK	3"	2"	_	_	ZURN #FD-2370 12"x12" RADIUSED PVC BODY FLOOR SINK WITH FULL RIM AND SEDIMENT BUCKET STRAINER. COORDINATE GRATE CONFIGURATION WITH KITCHEN ROUGH IN PLANS.
MXV-1	MIXING VALVE	-	_	1/2"	1/2"	WATTS REGULATOR #LFMMV UNDER SINK THERMOSTATIC MIXING VALVE, WITH BRASS BODY AND INTEGRAL MOUNTING HOLES, TAMPER RESISTANT ENCLOSURE. SECURED TO STRUCTURE.
<u>HD-1</u>	HUB DRAIN	3"	2"	-	_	FIELD FABRICATED PVC BODY HUB DRAIN WITH BOTTOM OUTLET AND PVC REDUCER. TOP OF THE HUB SHALL BE 6" AFF.
<u>TP-1</u>	TRAP PRIMER	-	-	1/2"	_	PPP, INC. #PR-500 "PRIME RITE" TRAP PRIMER, BRONZE CONSTRUCTION WITH VACUUM PORTS, ADJUSTABLE WITH 1/2" COPPER TYPE "L" TO RECEPTOR. PROVIDE DISTRIBUTION UNIT AS REQUIRED FOR SUPPLY TO MULTIPLE DRAINS. INSTALL VALVE RECESSED IN WALL A MINIMUM 12" AFF, PROVIDE ACCESS PANEL.
RPZ-1	BACKFLOW PREVENTER	-	_	LINE SIZED	ı	WATTS REGULATOR SS009 REDUCED PRESSURE ZONE ASSEMBLY WATER SUPPLY TO INCOMING WATER SERVICE SHALL BE PROTECTED BY AN APPROVED REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER AND SHALL BE RATED FOR 150 PSI, THE BODY & ADAPTERS ARE OF STAINLESS STEEL CONSTRUCTION, ALL RUBBER COMPONENTS COMPLY WITH FDA FOOD ADDITIVE REGULATIONS.
<u>BFP-1</u>	BACKFLOW PREVENTER	-	-	LINE SIZED	-	WATTS REGULATOR SERIES 7 DUAL CHECK VALVE. WATER SUPPLY TO PRE-RINSE, ICE MAKERS AND FILTER INLET SHALL BE PROTECTED BY AN APPROVED BACKFLOW PREVENTER AND SHALL BE RATED FOR CONTINUOUS OR INTERMITTENT PRESSURE, STAINLESS STEEL BODY CONSTRUCTION AND ALL RUBBER INTERNAL COMPONENTS.
<u>WHA-1</u>	WATER HAMMER ARRESTER	_	-	LINE SIZED	_	PPP, INC. SERIES SC, FULLY MECHANICAL WATER HAMMER ARRESTER SIZED PER MANUFACTURER SPECIFICATIONS.
FCO	FLOOR CLEANOUT	LINE SIZED	-	-	_	ZURN #1400 ADJUSTABLE FLOOR CLEANOUT, DURA—COATED CAST IRON BODY, GAS AND WATER TIGHT TAPERED THREAD PLUG, AND 5"Ø ROUND POLISHED NICKEL BRONZE TOP.
<u>WCO</u>	WALL CLEANOUT	LINE SIZED	-	I	_	ZURN #1443 SQUARE WALL CLEANOUT, DURA-COATED CAST IRON BODY, GAS AND WATER TIGHT TAPERED THREAD PLUG, AND NICKEL BRONZE SECURED SQUARE, SMOOTH WALL ACCESS COVER AND FRAME.
<u>GI-1</u>	GREASE INTERCEPTOR	4"	-	-	-	ENDURA GREASE INTERCEPTOR 25/50 LO ENGINEERED THERMOPLASTIC GREASE INTERCEPTOR RATED AT 25 GPM / 50 LBS GREASE CAPACITY. COORDINATE WITH LANDLORD & TENANT FOR LOCATION & LAYOUT RELATIVE TO THE EQUIPMENT.

GREASE WASTE DEMAND SUMMARY									
FIXTURE	QTY	CUBIC VOLUME IN INCHES	CUBIC VOLUME IN INCHES	CUBIC VOLU <b>M</b> E	DRAINAGE LOAD AT 75%	FLOW RA	TE (GPM)		
TIXTORL	Q''	(EA)	(TOTAL)	(GALLONS)	(GALLONS)	1 MIN.	2 MIN.		
4 COMPARTMENT SINK	1	4,480	13,104	56.7	42.5	42.5	21.3		
	•		PDI SIZE TOTA	ALS	•	42.5	21.3		
NOTEC			-						

		(- )	(	(=: :===;	(**************************************		
PARTMENT SINK	1	4,480	13,104	56.7	42.5	42.5	2
			PDI SIZE TOT	ALS		42.5	2
NOTES:							

1. CALCULATION SHOWN FOR SIZING OF GREASE INTERCEPTOR IS BASED ON PDI-G101.

2. (1) 25 GPM GREASE INTERCEPTOR IS ACCEPTABLE FOR THIS SITE.

S OR W SOIL OR WASTE  CD CD CONDENSATE DRAIN  CW COLD WATER	SYMBOL	ABBREV.	DESCRIPTION
S OR W SOIL OR WASTE			1
CD CD CONDENSATE DRAIN  CD COLD WATER  CW COLD WATER  FW FILTERED WATER  HW HOT WATER  UP PIPE UP  DN. TEE DOWN  FCO FLOOR CLEANOUT  DCO DOUBLE CLEANOUT  DCO DOUBLE CLEANOUT  SOV SHUT-OFF VALVE  C.V. CHECK VALVE  U UNION  (E) EXIST. EXISTING  POC POINT OF CONNECTION  XH TEMPERATURE & PRESSURE RELIEF VALVE  VTR VENT TO ROOF  WHA WATER HAMMER ARRESTER  HD HUB DRAIN  FD FLOOR DRAIN (COORDINATE GRATE REQS)  FS FLOOR SINK (COORDINATE GRATE REQS)  HB HOSE BIBB  KEC KITCHEN EQUIPMENT CONTRACTOR  BTUH BRITISH THERMAL UNITS PER HOUR  MBH 1 MBH = 1000 BTUH  CFH CUBIC FEET PER HOUR (1 MBH = 1 CFH)  I.E. INVERT ELEVATION  FU FIXTURE UNITS  GPM GALLONS PER MINUTE  GPH GALLONS PER HOUR  HP HORSEPOWER  PSI POUNDS PER SQUARE INCH  (TYP) TYPICAL  A.D.A. AMERICAN DISABILITIES ACT  A.F.F. ABOVE FINISH FLOOR			
CD — CD CONDENSATE DRAIN  CW COLD WATER  FW FILTERED WATER  HW HOT WATER  UP PIPE UP  DN. TEE DOWN  FCO FLOOR CLEANOUT  DCO DOUBLE CLEANOUT  WCO WALL CLEANOUT  SOV SHUT-OFF VALVE  C.V. CHECK VALVE  U UNION  (E) EXIST. EXISTING  POC POINT OF CONNECTION  X¹- T&P TEMPERATURE & PRESSURE RELIEF VALVE  VTR VENT TO ROOF  WHA WATER HAMMER ARRESTER  HD HUB DRAIN  FD FLOOR DRAIN (COORDINATE GRATE REQS)  FS FLOOR SINK (COORDINATE GRATE REQS)  FS FLOOR SINK (COORDINATE GRATE REQS)  HB HOSE BIBB  KEC KITCHEN EQUIPMENT CONTRACTOR  BTUH BRITISH THERMAL UNITS PER HOUR  MBH 1 MBH = 1000 BTUH  CFH CUBIC FEET PER HOUR (1 MBH = 1 CFH)  I.E. INVERT ELEVATION  FU FIXTURE UNITS  GPM GALLONS PER MINUTE  GPH GALLONS PER MINUTE  GPH GALLONS PER HOUR  HP HORSEPOWER  PSI POUNDS PER SQUARE INCH  (TYP) TYPICAL  A.D.A. AMERICAN DISABILITIES ACT  A.F.F. ABOVE FINISH FLOOR		_	
	CD		
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(TYP) TYPICAL  A.D.A. AMERICAN DISABILITIES ACT  A.F.F. ABOVE FINISH FLOOR		HP	HORSEPOWER
A.D.A. AMERICAN DISABILITIES ACT A.F.F. ABOVE FINISH FLOOR		PSI	POUNDS PER SQUARE INCH
A.F.F. ABOVE FINISH FLOOR		(TYP)	TYPICAL
		A.F.F. B.F.F.	ABOVE FINISH FLOOR  BELOW FINISH FLOOR

SYMBOL	ABBREV.	DESCRIPTION
	GW	GREASE WASTE
	S OR W	SOIL OR WASTE
	V	VENT
CD	CD	CONDENSATE DRAIN
	CW	COLD WATER
	FW	FILTERED WATER
	HW	HOT WATER
0	UP	PIPE UP
$\Box$	DN.	TEE DOWN
G	DN.	PIPE DOWN
•	FC0	FLOOR CLEANOUT
••	DCO	DOUBLE CLEANOUT
<del></del>	wco	WALL CLEANOUT
$\longrightarrow$	SOV	SHUT-OFF VALVE
	C.V.	CHECK VALVE
 	U	UNION
(E)	EXIST.	EXISTING
•	POC	POINT OF CONNECTION
<u>}</u> }-	T&P	TEMPERATURE & PRESSURE RELIEF VALVE
<u> </u>	VTR	VENT TO ROOF
· ·	WHA	WATER HAMMER ARRESTER
•	HD	HUB DRAIN
	FD	FLOOR DRAIN (COORDINATE GRATE REQS)
	FS	FLOOR SINK (COORDINATE GRATE REQS)
<u> </u>	НВ	HOSE BIBB
	KEC	KITCHEN EQUIPMENT CONTRACTOR
	BTUH	BRITISH THERMAL UNITS PER HOUR
	мвн	1 MBH = 1000 BTUH
	CFH	CUBIC FEET PER HOUR (1 MBH = 1 CFH)
	I.E.	INVERT ELEVATION
	FU	FIXTURE UNITS
	GPM	GALLONS PER MINUTE
	GPH	GALLONS PER HOUR
	HP	HORSEPOWER
	PSI	POUNDS PER SQUARE INCH
	(TYP)	TYPICAL
	A.D.A.	AMERICAN DISABILITIES ACT
	A.F.F.	ABOVE FINISH FLOOR
	B.F.F.	BELOW FINISH FLOOR

KITCH	EN H.W.	DEMAN	D			
ITEM	QTY.	GPH	TOTAL GPH			
LAVATORY	2	5	10			
HAND SINK	2	5	10			
COMP SINK	1	25	25			
4 COMP SINK	1	50	50			
SERVICE SINK FAUCET	1	15	15			
TOTAL			110			
HOT WATER CALCULATIONS:  PEAK DEMAND:  1. 110 GPH (PEAK DEMAND) X 0.40 (DEMAND FACTOR) = 44 GPH.  2. 44 GPH (DEMAND) X 1.0 (STORAGE FACTOR) = 44 GALS.  3. 110 GPH (PEAK DEMAND) / 60 MIN./HR = 1.8 GPM.  4. 50°F DOMESTIC SUPPLY WATER TEMPERATURE.  5. 140°F DESIGN SUPPLY HOT WATER FOR KITCHEN.  6. 500 GPM X △ T = MIN. OUTPUT BTUH REQUIRED AT WATER HEATER.  (500)(1.8)(90) = 81,000 BTUH (BASED ON ABOVE STORAGE).						

		MATERIAL SCHEDULE
WATER PIPE GROUND)	(ABOVE	UPONOR CROSSLINKED POLYETHYLENE (PEX-a) PIPING MEETING ASTM F 877, SDR 9 STANDARDS WITH MANUFACTURER AVAILABLE ENGINEERED POLYMER (EP) COLD EXPANSION FITTINGS AND PEX REINFORCING RINGS MEETING ASTM F 1960. PIPING SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND SHALL NOT BE INSTALLED WHERE IT IS EXPOSED TO SUNLIGHT. FIELD COORDINATE THE INSTALLATION OF MANUFACTURED PIPING COLOR AND PIPING LENGTHS TO RUN AS STRAIGHT AS POSSIBLE UTILIZING PEX-a PIPE SUPPORTS. ALL PIPING ANI FITTINGS SHALL BE BY THE SAME MANUFACTURER.
WATER PIPE GROUND)	(BELOW	UPONOR CROSSLINKED POLYETHYLENE (PEX-a) PIPING MEETING ASTM F 877, SDR 9 STANDARDS. NO JOINTS OR FITTINGS SHALL BE INSTALLED BELOW THE BUILDING SLAB. FIELD COORDINATE THE INSTALLATION OF MANUFACTURED PIPING COLOR AND PIPING LENGTHS TO RUN AS STRAIGHT AS POSSIBLE. ALL PIPING AND FITTINGS SHALL BE BY THE SAME MANUFACTURER.
	WATER PIPE GROUND)  WATER PIPE	PIPING A WATER PIPE (ABOVE GROUND)  WATER PIPE (BELOW

1. 44 GPH (PROBABLE DEMAND) X 0.40 (DEMAND FACTOR) = 17.6 GPH.

6. 500 GPM X  $\triangle$  T = MIN. OUTPUT BTUH REQUIRED AT WATER HEATER.

(500)(0.73)(90) = 32,850 BTUH (BASED ON ABOVE STORAGE).

2.  $17.6 \text{ GPH (DEMAND)} \times 1.0 \text{ (STORAGE FACTOR)} = 17.6 \text{ GALS.}$ 

3. 44 GPH (PROBABLE DEMAND) / 60 MIN./HR = 0.73 GPM.

4. 50°F DOMESTIC SUPPLY WATER TEMPERATURE. 5. 140°F DESIGN SUPPLY HOT WATER FOR KITCHEN.

CAPACITY PROVIDED:

SUSPENDED PIPING

SUPPORT

3.	WATER PIPE (INSULATION)	BOTH HOT AND COLD WATER PIPING SHALL BE INSTALLED COMPLETE WITH INSULATION EITHER IN CONCEALED OR EXPOSED LOCATIONS. REFER TO GENERAL NOTES FOR INSULATION THICKNESS INFO.		
4.	SEWER AND VENT PIPE (ABOVE AND BELOW GRADE)	DWV SCHEDULE 40 POLYVINYL CHLORIDE (PVC) PIPING. INSIDE BUILDING SERVICE WEIGHT (HUBLESS) CAST IRON SOIL PIPE AND STAINLESS STEEL NO HUB COUPLINGS SHALL BE UTILIZED FOR THE FIRST 10'-0" OF PIPING RECEIVING DISCHARGE FROM A DISHWASHER(S).		
5.	CONDENSATE DRAIN PIPE & INDIRECT DRAIN PIPE (INTERIOR TO BUILDING)	TYPE 'M' COPPER WITH 95/5 SILVER SOLDER JOINT FITTINGS. INSULATE CONDENSATE PIPING WITH 1/2" ARMAFLEX CLOSED CELL PIPE INSULATION WITH SELF SEALING ADHESIVE JOINTS, OR EQUIVALENT.		
6.	CONDENSATE DRAIN PIPE (EXTERIOR TO BUILDING)	TYPE 'M' COPPER WITH 95/5 SILVER SOLDER JOINT FITTINGS.		
7.	GAS PIPE	GAS PIPE — SCHEDULE 40 BLACK STEEL WITH MALLEABLE IRON FITTINGS. WELDED JOINTS FOR PIPE 2 1/2" AND LARGER AND ALL JOINTS BELOW GRADE. EXTERIOR GAS PIPING AT THE METER ASSEMBLY SHALL BE FIELD PAINTED TO MATCH THE ADJACENT WALL FINISH. GAS PIPING EXTERIOR ON THE ROOF SHALL BE FIELD PAINTED WITH ZINC RICH GALVANIZED PAINT FOR CORROSION PROTECTION. GAS PIPING INTERIOR TO THE BUILDING SHALL BE FIELD PAINTED YELLOW.		

BACKFLOW DEVICE SCHEDULE								
ITEM/ FIXTURE	ITEM/ EQUIPMENT #	BACKFLOW DEVICE						
INCOMING WATER SERVICE	_	<u>RPZ-1</u>						
WATER FILTER INLET	P02							
ICE MACHINE	E14	<u>BFP-1</u>						
PRE-RINSE SPRAYER	P03							
MOP SINK	P09	INTEGRAL						

REFER TO THE PIPE HANGER DETAIL FOR ROD SIZE AND SPACING INFORMATION FOR SUSPENDED PIPING.

### **GENERAL NOTES**

- NOTE: FOR THE PURPOSE OF CLEARNESS AND LEGIBILITY, THE DRAWINGS ARE ESSENTIALLY DIAGRAMMATIC AND ALTHOUGH SIZES AND LOCATIONS OF EQUIPMENT ARE DRAWN TO SCALE WHEREVER POSSIBLE, THE CONTRACTOR SHALL MAKE USE OF ALL DATA IN ALL OF THE CONTRACT DOCUMENTS AND VERIFY THIS INFORMATION PRIOR TO ORDERING, FABRICATING OR INSTALLING ANY MATERIALS.
- THE PLUMBING CONTRACTOR SHALL PROVIDE COMPLETE INFORMATION AND
- THE COMPLETION AND COORDINATION OF THE PROJECT. 3. THE PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR ADMINISTERING ALL
- 4. PROVIDE WRITTEN WARRANTY TO REPLACE ALL FAULTY MATERIALS AND/OR LABOR, AT NO COST TO TENANT, FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE. WARRANTIES SHALL BEGIN ON THE DATE OF SUBSTANTIAL
- THE PLUMBING SYSTEM DESIGN, INSTALLATION AND MATERIALS SHALL CONFORM TO ALL FEDERAL, STATE AND LOCAL CODES AND AUTHORITIES

- HIMSELF WITH EXISTING CONDITIONS. SUBMITTAL OF BID WILL VERIFY THAT
- 1. PIPING SHALL BE INSTALLED PARALLEL TO BUILDING LINES AND SUPPORTED AND ANCHORED AS REQUIRED TO FACILITATE EXPANSION AND CONTRACTION. THE INSTALLATION SHALL MEET ALL CONSTRUCTION CONDITIONS AND ALLOW
- 3. ALL VALVES, TRAP PRIMERS, WATER HAMMER ARRESTORS OR OTHER EQUIPMENT SHOWN IN WALLS OR ABOVE NON-ACCESSIBLE CEILINGS SHALL BE INSTALLED BEHIND AN ACCESS PANEL.
- 14. ALL SERVICE WATER HEATING EQUIPMENT TO BE IN COMPLIANCE WITH THE 2016 CALIFORNIA FUEL GAS CODE REQUIREMENTS AND LABELED AS SUCH. 15. ALL ITEMS PROJECTING THROUGH THE ROOF SHALL BE FLASHED THROUGH CURBS OR PIPE SEALS A MINIMUM OF 12" ABOVE THE ROOF. THE PIPE CURBS AND SEALS SHALL BE INSTALLED BY THE ROOFING CONTRACTOR.
- 16. ALL WATER PIPING TO BE INSULATED AS PER THE 2015 INTERNATIONAL PLUMBING CODE WITH LOCAL AMENDMENTS REQUIREMENTS: <u>PIPE SIZE</u> <u>INSULATION THICKNESS</u> <u>INSULATION VALUE</u> 1/2" THRU 1 1/4" R = 6.0
- . Contractor to refer to plumbing fixture schedule for individual WASTE, VENT & WATER CONNECTION SIZES AT EACH PLUMBING FIXTURE.
- 18. ALL CLEANOUTS SHALL BE INSTALLED WHERE READILY ACCESSIBLE AND LOCATED AS PER CODE REQUIREMENTS. THE CONTRACTOR SHALL COORDINATE ALL CLEAN OUT LOCATIONS WITH EQUIPMENT, MILLWORK, ETC., PRIOR TO
- ANY VERTICAL SURFACE AND 10'-0" FROM OR 3'-0" ABOVE ANY MECHANICAL
- EQUIPMENT OUTSIDE AIR INTAKE. 20. ALL VALVES, UNIONS, ETC. TO BE SAME SIZE AS CONNECTED SUPPLY LINE UNLESS OTHERWISE NOTED ON DRAWINGS.
- 21. UNIONS SHALL BE PROVIDED AND INSTALLED AFTER EACH SCREW—TYPE VALVE AND PRIOR TO EQUIPMENT CONNECTIONS.
- 22. ALL UNDERGROUND METALLIC PIPE AND FITTINGS SHALL BE PROTECTED IN ACCORDANCE WITH THE SOILS ENGINEER'S RECOMMENDATIONS.
- OR CONCRETE FOOTINGS. 24. THE PLUMBING CONTRACTOR SHALL COORDINATE ALL REQUIREMENTS FOR ALL POINTS OF CONNECTION WITH THE GENERAL CONTRACTOR AND OTHER TRADES
- PRIOR TO START OF WORK. VERIFY EXACT LOCATIONS, DEPTH AND SIZE OF ALL PIPING TO WHICH
- CONDITIONS AND SITE UTILITY CONTRACTOR/ REPRESENTATIVE. 26. ALL HORIZONTAL PIPING LINES EXTENDED AND CONNECTED TO EQUIPMENT SHALL BE RUN AT THE HIGHEST POSSIBLE ELEVATIONS AND NOT LESS THAN
- OR FLOORS SHALL UTILIZE CORE DRILLING EQUIPMENT. COORDINATE WITH ARCHITECTURAL DETAILS FOR FLOOR CUTTING AND PATCHING.
- MATERIALS, RODS AND CLAMPS AS REQUIRED FOR COORDINATION WITH WORK OF OTHER TRADES.
- 29. PIPING LAYOUT IS SCHEMATIC ONLY, EXACT ROUTING AND INSTALLATION OF PIPES TO BE COORDINATED WITH THE BUILDING STRUCTURE AND THE WORK OF OTHER CONTRACTORS.
- WHENEVER FOUNDATION WALLS, EXTERIOR WALLS, ROOFS, ETC. ARE PENETRATED FOR THE INSTALLATION OF PLUMBING SYSTEMS, THEY SHALL BE PATCHED TO MATCH EXISTING CONSTRUCTION AND SEALED WEATHER TIGHT.
- 32. PLUMBING CONTRACTOR SHALL BE ON SITE AND PRESENT AT THE DATE OF

COOPERATE WITH THE OTHER CONTRACTORS AND TRADES AS REQUIRED FOR

WARRANTIES ON EQUIPMENT WHICH THEY FURNISH AND INSTALL.

COMPLETION.

HAVING JURISDICTION.

- 6. PLUMBING QUALITY, WEIGHTS OF MATERIALS AND ALTERNATE CONSTRUCTION METHODS SHALL CONFORM TO THE APPLICABLE SECTIONS OF THE 2015 INTERNATIONAL PLUMBING CODE WITH LOCAL AMENDMENTS.
- THE PLUMBING CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND LABOR (INCLUDING THE COMPLETE PLUMBING SYSTEM) FOR A PERIOD OF ONE YEAR FROM WRITTEN ACCEPTANCE BY THE TENANT. ANY DEFECTS IN MATERIALS AND OR LABOR FOUND WITHIN THE GUARANTEE PERIOD SHALL BE REMEDIED OR REPAIRED BY THIS CONTRACTOR IN A TIMELY FASHION, AT NO COST TO THE
- 8. | ALL PLUMBING FIXTURE LOCATIONS (WATER CLOSETS, LAVATORIES ETC.) ARE DIAGRAMMATIC AND CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS FOR ADA COMPLIANT FIXTURES, EXACT LOCATIONS, MOUNTING HEIGHTS AND
- 9. Any deviations from the drawings or specifications shall be brought TO THE ATTENTION OF THE ARCHITECT AND ENGINEER PRIOR TO INSTALLATION. 10. CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTAL OF BID AND FAMILIARIZE THE CONTRACTOR HAS VISITED THE SITE.
- FOR THE INSTALLATION OF OTHER TRADES.
- 12. TRAP PRIMERS FOR FLOOR DRAINS AND FLOOR SINKS AND WATER HAMMER ARRESTORS TO BE INSTALLED AS PER THE 2015 INTERNATIONAL PLUMBING CODE WITH LOCAL AMENDMENTS AND THE LATEST EDITION OF THE AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE 1010) SIZING AND INSTALLATION | REQUIREMENTS.
- ENSURE THAT AMPLE BOOT OPENINGS ARE PROVIDED TO ACCOMMODATE ANY
- ELECTRICAL CONDUIT PENETRATIONS REQUIRED FOR POWER.
- 1-1/2" THRU 2" 1 1/2" R = 6.0
- INSTALLATION.
- 19. ALL PLUMBING FIXTURE VENTS TO TERMINATE A MINIMUM OF 12 INCHES FROM

- 23. NO PIPING SHALL BE DIRECTLY EMBEDDED IN CONCRETE, MASONRY WALLS,
- CONNECTIONS ARE REQUIRED. COORDINATE ALL CONNECTIONS WITH SITE
- 6" ABOVE THE FLOOR TO PROVIDE CLEARANCE FOR CLEANING. 27. ALL CUTTING OF EXISTING PAVING, WALKS AND/OR FLOORS SHALL UTILIZE MACHINE SAW CUTTING EQUIPMENT. HOLES FOR PIPES IN CONCRETE WALLS
- 28. THE PLUMBING CONTRACTOR IS TO PROVIDE ALL ADDITIONAL STEEL, HANGER
- 30. NO LIQUID TRANSMISSION PLUMBING PIPING SHALL BE INSTALLED ABOVE ELECTRICAL SWITCH GEAR, EQUIPMENT, OR PANELS. MAKE ADJUSTMENTS NECESSARY TO REROUTE PIPING FOR ACTUAL INSTALLATION OF ELECTRIC EQUIPMENT.
- STORE TURNOVER.

BRIAN CHANDLER,

ENGINEER:

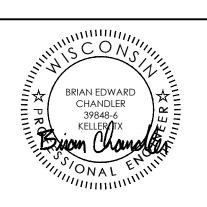
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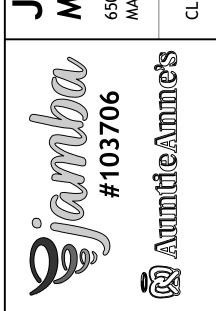
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PLUMBING NOTES AND SCHEDULES

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